

# BOSS WALL DUPLEX PLAN

## DEVELOPED FOR B-COLLECTIVE

C/O CHRIS HILL  
779 17 TH STREET EAST  
NORTH VANCOUVER, BC  
V7L 2W9

### CONSULTING TEAM

**DESIGNER OF RECORD:**  
MAKOR ARCHITECTURE INC.  
ALBERTA - BRITISH COLUMBIA  
PHONE: 403-899-0223

EMAIL: INFO@MAKORARCHITECTURE.COM

**STRUCTURAL ENGINEER OF RECORD:**  
ASPECT STRUCTURAL ENGINEERS  
101-190 WEST 3RD AVE.,  
VANCOUVER, BRITISH COLUMBIA, V5Y 1E9  
PHONE: 604-762-7844

EMAIL: HELLO@ASPECTENGINEERS.COM

**BUILDING ENVELOPE ENGINEER OF RECORD:**  
EVOKE BUILDINGS  
250 - 997 SEYMOUR ST.,  
VANCOUVER, BRITISH COLUMBIA, V6B3M1  
PHONE: 604-260-1124

EMAIL: SMERCIER@EVOKEBUILDINGS.COM

**BUILDER OF RECORD**  
B COLLECTIVE  
779 17 TH STREET EAST  
NORTH VANCOUVER, BC  
V7L 2W9  
PHONE: 604-876-2728

**NOT FOR  
CONSTRUCTION**  
VERSION 2022.03.10.01  
JUNE 06, 2022

#### DRAWING LEGEND

- C.1 COVER PAGE
- A.01 FLOOR PLANS
- A.02 ROOF PLAN / ROOF FRAMING PLAN
- A.03 ELEVATIONS
- A.04 SAMPLE ELEVATIONS
- A.05 PERSPECTIVES
- A.06 BUILDING SECTIONS
- A.07 DETAILS 1
- A.08 DETAILS 2
- A.09 DETAILS 3
- A.10 CONSTRUCTABILITY 1
- A.11 CONSTRUCTABILITY 2
- A.12 CONSTRUCTABILITY 3



ARTIST RENDERING. MATERIALS MAY NOT BE EXACTLY AS SHOWN.



<b>FLOOR PLANS</b>	• MAIN FLOOR PLAN
	• UPPER FLOOR PLAN
• ENLARGED FLOOR PLAN DETAILS	

PROJECT NAME		CLIENT		NAME OF CLIENT		PROJECT	
NAME OF CLIENT		NAME OF CLIENT		ADDRESS GOES HERE		PROJECT NO. KOR21-01	
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION:	D.P. PERMIT NO.	S.P. PERMIT NO.	ORIGINAL ISSUE DATE:	ORIGINAL START DATE:
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000	00000000	00000000	00000000	0000-00-00

**ALBERTA • BRITISH COLUMBIA**

PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM

234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

# BOSS

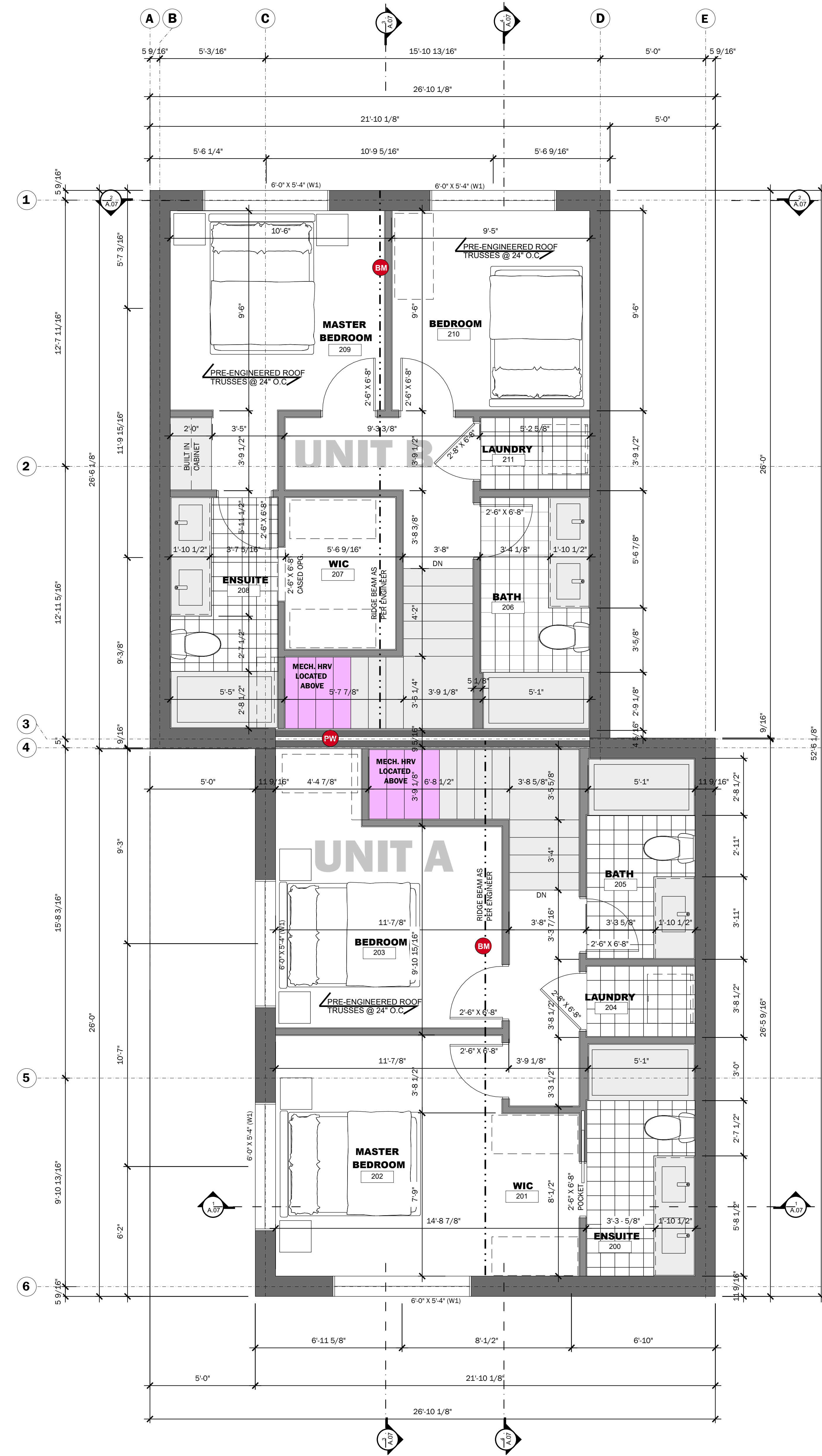
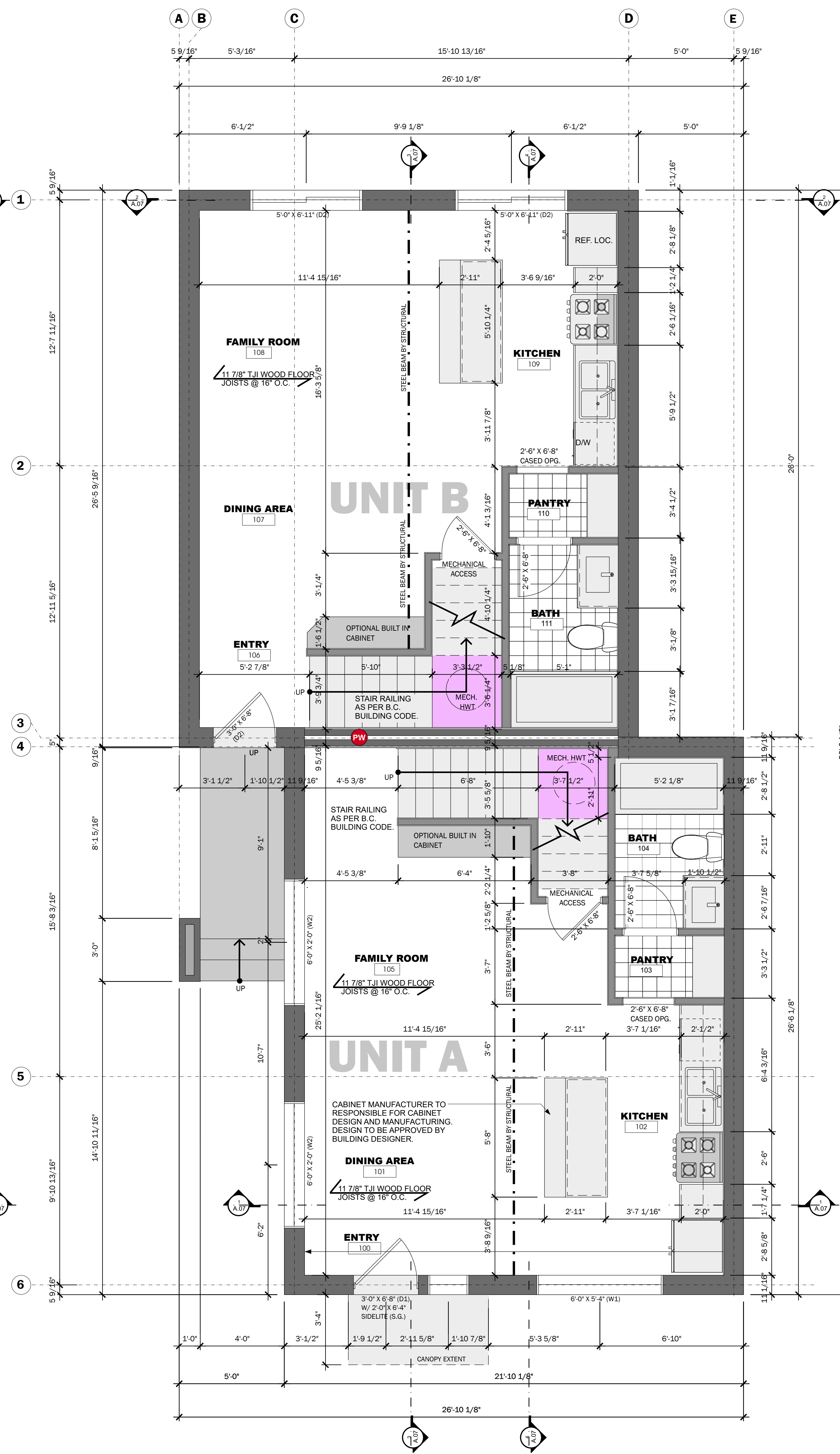
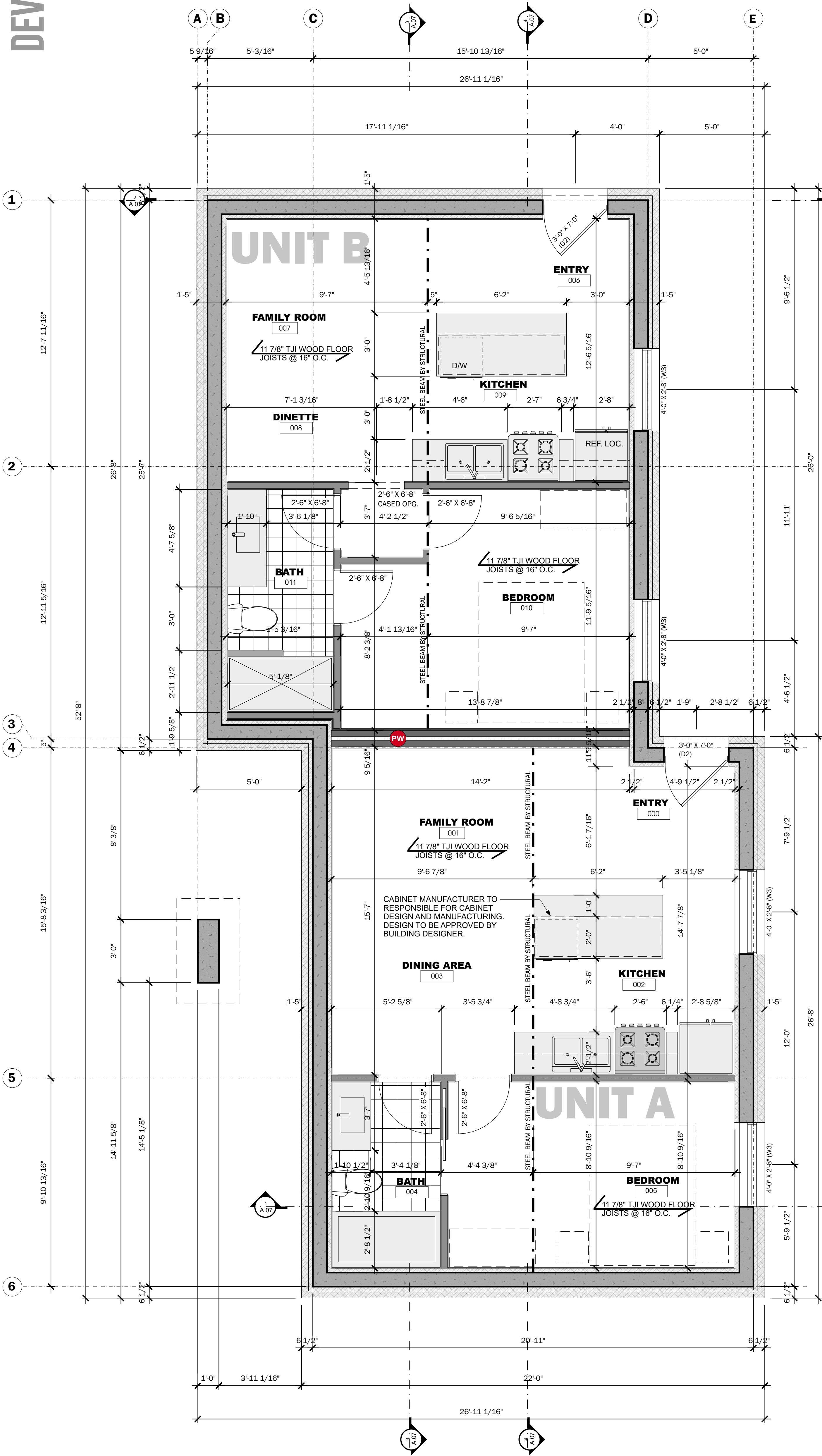
BUILDING OFFSITE  
SUSTAINABLE SYSTEMS

RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	C.01

TRUE NORTH

PROJECT NORTH

<b>STRUCTURAL LEGEND</b> BEAM TO BE DESIGNED BY MANUFACTURER AND/OR ENGINEER. STEEL BEAM TO BE DESIGNED BY MANUFACTURER AND/OR ENGINEER. DENOTES PARTY WALL. DENOTES POST TO BE DESIGNED BY MANUFACTURER AND/OR ENGINEER. SMOKE DETECTOR REQUIRED.	<b>PASSIVE HOUSE GENERAL NOTES</b> <b>WALL CONSTRUCTION</b> PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP 1 1/2" GUTEX EXTERIOR INSULATION 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C. 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C. 1/2" OSB G.S. FOR FINISH WOOD <b>ROOF CONSTRUCTION</b> STANDING SEAM METAL ROOF 2"x4" SPF NO.1 / NO.2 STRAPPING PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP 1 1/2" GUTEX EXTERIOR INSULATION 1 1/2" PLYWOOD SHEATHING PRE-ENGINEERED ROOF TRUSSES @ 24" O.C. ROXUL BATT INSULATION PRO-CLIMA - INTELO PULLS VAPOUR BARRIER 2"x4" SPF NO.1 / NO.2 STRAPPING 1/2" DRYWALL	<b>GENERAL NOTES</b> * NOTE - CONCRETE FOOTINGS SIZES TO BE VERIFIED WITH STRUCTURAL ENGINEER. ASSUME MINIMUM SOIL BEARING CAPACITY OF 2 kg/cm <sup>2</sup> (2000 psf) / MAX. POINT LOAD ALLOWANCE = 33,300 # ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA / BRITISH COLUMBIA BUILDING CODE, VANCOUVER BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. ALL DRAWINGS ARE TO BE READ AND NOT SCALED. CONTRACTOR IS TO REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION BEGINNING.	<b>AREA SCHEDULE</b> <table border="1"> <tr><th>NAME</th><th>AREA</th></tr> <tr><td>MAIN FLOOR UNIT A</td><td>577 SQ.FT.</td></tr> <tr><td>UPPER FLOOR UNIT A</td><td>582 SQ.FT.</td></tr> <tr><td>TOTAL UNIT A</td><td>1,159 SQ.FT.</td></tr> <tr><td>MAIN FLOOR UNIT B</td><td>568 SQ.FT.</td></tr> <tr><td>UPPER FLOOR UNIT B</td><td>581 SQ.FT.</td></tr> <tr><td>TOTAL UNIT B</td><td>1,149 SQ.FT.</td></tr> <tr><td>LOWER FLOOR UNIT C</td><td>533 SQ.FT.</td></tr> <tr><td>TOTAL UNIT C</td><td>533 SQ.FT.</td></tr> <tr><td>LOWER FLOOR UNIT D</td><td>544 SQ.FT.</td></tr> <tr><td>TOTAL UNIT D</td><td>544 SQ.FT.</td></tr> </table>	NAME	AREA	MAIN FLOOR UNIT A	577 SQ.FT.	UPPER FLOOR UNIT A	582 SQ.FT.	TOTAL UNIT A	1,159 SQ.FT.	MAIN FLOOR UNIT B	568 SQ.FT.	UPPER FLOOR UNIT B	581 SQ.FT.	TOTAL UNIT B	1,149 SQ.FT.	LOWER FLOOR UNIT C	533 SQ.FT.	TOTAL UNIT C	533 SQ.FT.	LOWER FLOOR UNIT D	544 SQ.FT.	TOTAL UNIT D	544 SQ.FT.	<b>LEGEND</b> HATCHED AREA INDICATES EXTENT OF DROPPED BULKHEADS. FAMILY AREA IS ONLY ROOM TO RECEIVE 4" CROWN MOLDING AROUND INSIDE PERIMETER OF TRAY CEILING. INDICATES NEW STRUCTURAL POST TO BE DESIGNED BY OTHERS. NOTE TO FRAMER: ALL EXTERIOR DOOR AND WINDOW LINTELS TO BE 2" PRO-200 K1 SPRING OR BETTER EQUALS OTHERWISE SPECIFIED. NOTE FOR WINDOW HEAD HEIGHTS, REFER TO WINDOW SCHEDULE.	<b>FLOOR PLAN GENERAL NOTES</b> <b>FINISHING NOTES:</b> A. PRODUCE JOINTS WHICH ARE TRUE, TIGHT AND WELL FASTENED. CONCEAL SHRINKAGE, MITER EXTERIOR JOINTS, COPE INTERIOR JOINTS, MITER OR SOAK END-TO-END JOINTS. INSTALL TRIM USING PIECES AS LONG AS POSSIBLE. INSTALL ITEMS STRAIGHT, TRUE, LEVEL, PLUMB AND FINELY ANCHORED IN PLACE. NAIL TRIM WITH FRESH NAILS OF PROPER DIMENSION TO HOLD THE MEMBER FIRMLY IN PLACE WITHOUT SPLITTING THE WOOD. NAIL EXTERIOR TRIM WITH GALVANIZED NAILS, MAKING JOINTS TO EXCLUDE WATER AND SETTING IN WATERPROOF GLEUE OR SEALANT ON EXPOSED WORK. SET NAILS FOR PUNITY. B. CALLING APPLICATIONS - ENSURE ALL JOINTS AND SPACES ARE CLEAN, DRY, FREE OF DUST, LOOSE PARTICLES AND OTHER FOREIGN MATERIALS, THAT METALS ARE FREE OF ALL RUST, MILL SCALE, COATINGS, OIL AND GREASE; THAT ALUMINUM SURFACES THAT HAVE PROTECTIVE COATINGS ARE CLEANED WHEREVER SEALANT IS TO BE PLACED, AND FUTURE SURFACES ARE CLEAN & LABELS REMOVED IN AREA OF SEALANT APPLICATION. C. CAULK OR OTHERWISE SEAL ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES; BETWEEN WALL, SOLE PLATES AND FLOORS; & BETWEEN EXTERIOR WALL PANELS, PENETRATIONS IN WALLS, CEILING, AND FLOORS FOR PLUMBING, ELECTRICAL OR GAS LINES; OPENINGS IN ATTIC FLOORS; ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.
NAME	AREA																										
MAIN FLOOR UNIT A	577 SQ.FT.																										
UPPER FLOOR UNIT A	582 SQ.FT.																										
TOTAL UNIT A	1,159 SQ.FT.																										
MAIN FLOOR UNIT B	568 SQ.FT.																										
UPPER FLOOR UNIT B	581 SQ.FT.																										
TOTAL UNIT B	1,149 SQ.FT.																										
LOWER FLOOR UNIT C	533 SQ.FT.																										
TOTAL UNIT C	533 SQ.FT.																										
LOWER FLOOR UNIT D	544 SQ.FT.																										
TOTAL UNIT D	544 SQ.FT.																										



**FLOOR PLANS**  
 • MAIN FLOOR PLAN  
 • UPPER FLOOR PLAN  
 • ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT Address Goes Here	
PROJECT NO. KOR21-01			
DESIGNED BY R.M. / D.P.A.	DRAWN BY R.M. / D.P.A.	CHECKED BY R.M. / D.P.A.	LEGAL DESCRIPTION 00000000
D.P. PERMIT NO. 00000000	S.P. PERMIT NO. 00000000	ORIGINAL ISSUE DATE 0000-00-00	ORIGINAL START DATE 0000-00-00

**makOR architecture**

ALBERTA • BRITISH COLUMBIA

PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM

234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

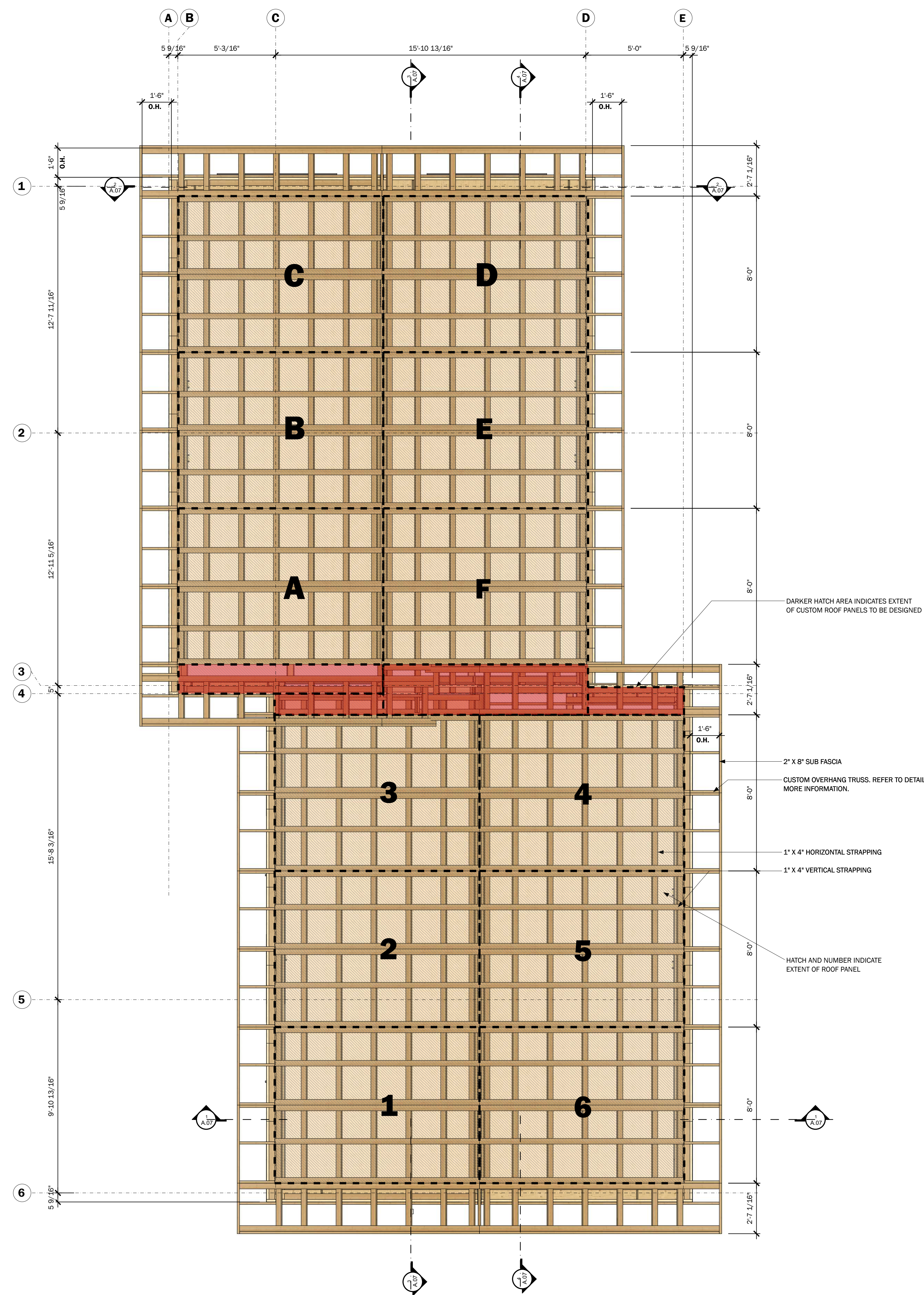
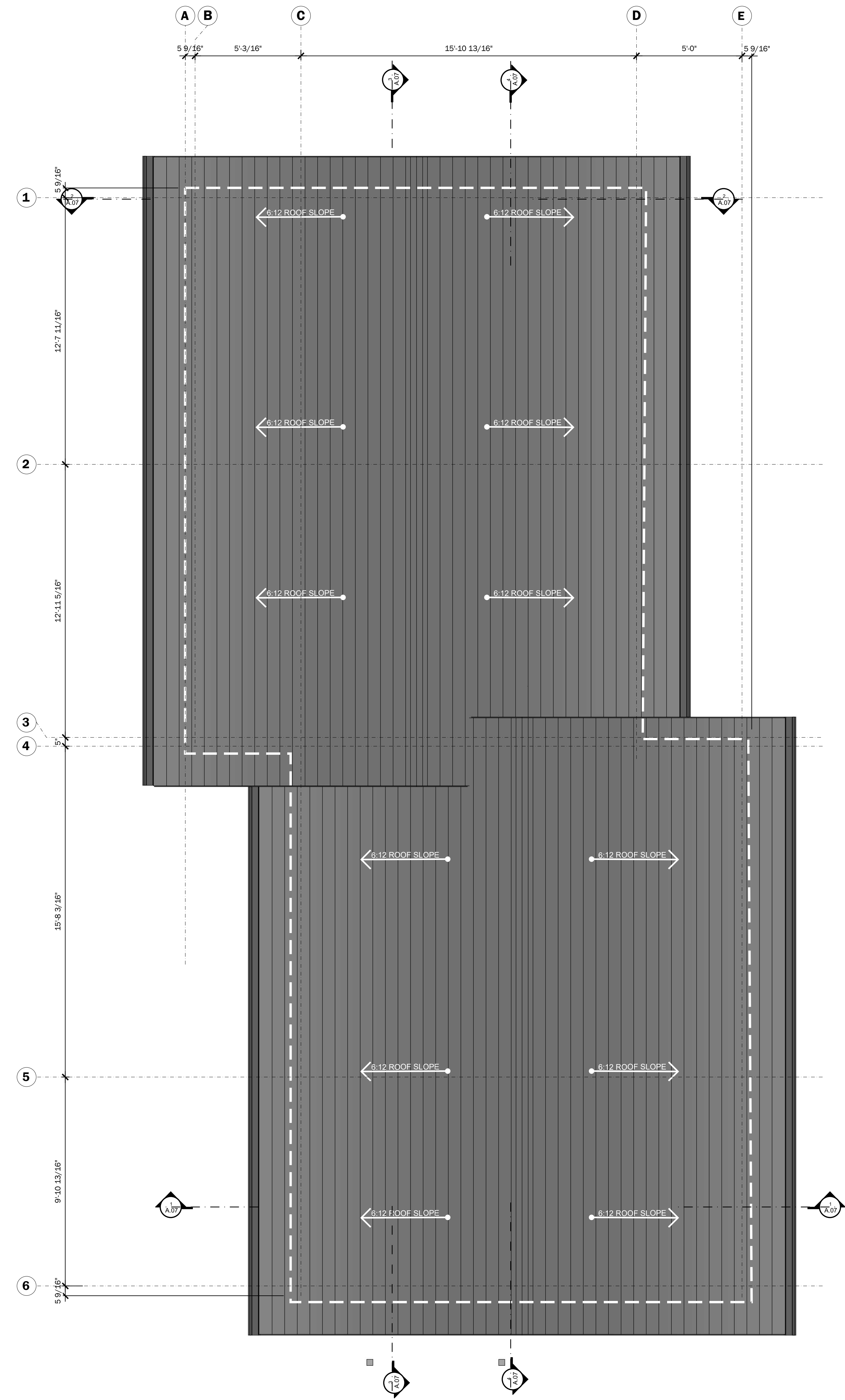
**BOSS** BUILDING OFFSITE SUSTAINABLE SYSTEMS

TRUE NORTH  
PROJECT NORTH

RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	

**A.01**

STRUCTURAL LEGEND	PASSIVE CONSTRUCTION GENERAL NOTES	GENERAL NOTES	AREA SCHEDULE	LEGEND	FLOOR PLAN GENERAL NOTES																										
<p><b>RM</b> BEAM TO BE DESIGNED BY MANUFACTURER AND / OR ENGINEER.</p> <p><b>SB</b> STEEL BEAM TO BE DESIGNED BY MANUFACTURER AND / OR ENGINEER.</p> <p><b>PW</b> DENOTES PARTY WALL.</p> <p><b>DP</b> DENOTES POST TO BE DESIGNED BY MANUFACTURER AND / OR ENGINEER.</p> <p><b>SD</b> "SMOKE DETECTOR REQUIRED"</p>	<p><b>WALL CONSTRUCTION</b>                      PRO-CLIMA - SOLITEX MENTO 2000 VAPOUR PERMEABLE HOUSE WRAP                      1 1/2" GUTEX EXTERIOR INSULATION                      2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.                      3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION                      2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.                      1/2" DOUGLAS FIR PLYWOOD</p> <p><b>ROOF CONSTRUCTION</b>                      STANDING SEAM METAL ROOF                      2"x4" SPF NO.1 / NO.2 STRAPPING                      PRO-CLIMA - SOLITEX MENTO 2000 VAPOUR PERMEABLE HOUSE WRAP                      1 1/2" GUTEX EXTERIOR INSULATION                      1 1/2" PLYWOOD SHEATHING                      PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.                      ROXUL BATT INSULATION                      PRO-CLIMA - INTELLI FILLS VAPOUR BARRIER                      2"x4" SPF NO.1 / NO.2 STRAPPING                      1/2" DRYWALL</p>	<p>* NOTE -                      CONCRETE PAD FOOTINGS SIZES TO BE VERIFIED WITH STRUCTURAL ENGINEER. ASSUME MINIMUM SOIL BEARING CAPACITY OF 2 kg/cm<sup>2</sup> ( 2000 psf ) / MAX. POINT LOAD ALLOWANCE = 33,300 #                      ALL WORK IS PERFORMED TO COMPLY TO CURRENT ALBERTA / BRITISH COLUMBIA BUILDING CODE, VANCOUVER BUILDING CODE, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.</p> <p>ALL DRAWINGS ARE TO BE READ AND NOT SCALED. CONTRACTOR IS TO REVIEW ALL DRAWINGS AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION BEGINNING.</p>	<table border="1"> <thead> <tr> <th>NAME</th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR UNIT A</td> <td>577 SQ.FT.</td> </tr> <tr> <td>UPPER FLOOR UNIT A</td> <td>582 SQ.FT.</td> </tr> <tr> <td>TOTAL UNIT A</td> <td>1,159 SQ.FT.</td> </tr> <tr> <td>MAIN FLOOR UNIT B</td> <td>568 SQ.FT.</td> </tr> <tr> <td>UPPER FLOOR UNIT B</td> <td>581 SQ.FT.</td> </tr> <tr> <td>TOTAL UNIT B</td> <td>1,149 SQ.FT.</td> </tr> <tr> <td>LOWER FLOOR UNIT C</td> <td>533 SQ.FT.</td> </tr> <tr> <td>UPPER FLOOR UNIT C</td> <td>533 SQ.FT.</td> </tr> <tr> <td>TOTAL UNIT C</td> <td>1,066 SQ.FT.</td> </tr> <tr> <td>LOWER FLOOR UNIT D</td> <td>544 SQ.FT.</td> </tr> <tr> <td>UPPER FLOOR UNIT D</td> <td>544 SQ.FT.</td> </tr> <tr> <td>TOTAL UNIT D</td> <td>1,088 SQ.FT.</td> </tr> </tbody> </table>	NAME	AREA	MAIN FLOOR UNIT A	577 SQ.FT.	UPPER FLOOR UNIT A	582 SQ.FT.	TOTAL UNIT A	1,159 SQ.FT.	MAIN FLOOR UNIT B	568 SQ.FT.	UPPER FLOOR UNIT B	581 SQ.FT.	TOTAL UNIT B	1,149 SQ.FT.	LOWER FLOOR UNIT C	533 SQ.FT.	UPPER FLOOR UNIT C	533 SQ.FT.	TOTAL UNIT C	1,066 SQ.FT.	LOWER FLOOR UNIT D	544 SQ.FT.	UPPER FLOOR UNIT D	544 SQ.FT.	TOTAL UNIT D	1,088 SQ.FT.	<p><b>LEGEND</b></p> <p> MATCHED AREA INDICATES EXTENT OF DROPPED BULKHEADS. FAMILY AREA IS ONLY ROOM TO RECEIVE 4" CROWN MOLDING AROUND INSIDE PERIMETER OF TRAY CEILING.</p> <p><b>P_</b> INDICATES NEW STRUCTURAL POST TO BE DESIGNED BY OTHERS.</p> <p><b>NOTE TO FRAMER:</b>                      ALL EXTERIOR DOOR &amp; WINDOW LINTELS TO BE 2" X 8" KIPSIPICE OR BETTER UNLESS OTHERWISE SPECIFIED.                      NOTE FOR WINDOW HEAD HEIGHTS, REFER TO WINDOW SCHEDULE.</p>	<p><b>FINISHING NOTES:</b></p> <p>A. PRODUCE JOINTS WHICH ARE TRUE, TIGHT AND WELL FASTENED. CONCEAL SHRINKAGE, MITER EXTERIOR JOINTS, COPE INTERIOR JOINTS, MITER OR SCAMP END-TO-END JOINTS. INSTALL TRIM USING PIECES AS LONG AS POSSIBLE. INSTALL ITEMS STRAIGHT, TRUE LEVEL, PLUMB AND FINELY ANCHORED IN PLACE. NAIL TRIM WITH FRESH NAILS OF PROPER DIMENSION TO HOLD THE MEMBER FIRMLY IN PLACE WITHOUT SPLITTING THE WOOD. NAIL EXTERIOR TRIM WITH GALVANIZED NAILS. MAKING JOINTS TO EXCLUDE WATER AND SETTING IN WATERPROOF GLEE OR SEALANT ON EXPOSED WORK. SET NAILS FOR PUTTY.</p> <p>B. CALKING APPLICATIONS - ENSURE ALL JOINTS AND SPACES ARE CLEAN, DRY, FREE OF DUST, LOOSE PARTICLES AND OTHER FOREIGN MATERIALS. THAT METALS ARE FREE OF ALL RUST, MILL SCALE, COATINGS, OIL AND GREASE; THAT ALUMINUM SURFACES THAT HAVE PROTECTIVE COATINGS ARE CLEANED WHEREVER SEALANT IS TO BE PLACED, AND FUTURE SURFACES ARE CLEAN &amp; LABELS REMOVED IN AREA OF SEALANT APPLICATION.</p> <p>C. CALK OR OTHERWISE SEAL ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES; BETWEEN WALL SOLE PLATES AND FLOORS; &amp; BETWEEN EXTERIOR WALL PANELS, PENETRATIONS IN WALLS, CEILING, AND FLOORS FOR PLUMBING, ELECTRICAL OR GAS LINES; OPENINGS IN ATTIC FLOORS; ALL OTHER OPENINGS IN THE BUILDING ENVELOPE.</p>
NAME	AREA																														
MAIN FLOOR UNIT A	577 SQ.FT.																														
UPPER FLOOR UNIT A	582 SQ.FT.																														
TOTAL UNIT A	1,159 SQ.FT.																														
MAIN FLOOR UNIT B	568 SQ.FT.																														
UPPER FLOOR UNIT B	581 SQ.FT.																														
TOTAL UNIT B	1,149 SQ.FT.																														
LOWER FLOOR UNIT C	533 SQ.FT.																														
UPPER FLOOR UNIT C	533 SQ.FT.																														
TOTAL UNIT C	1,066 SQ.FT.																														
LOWER FLOOR UNIT D	544 SQ.FT.																														
UPPER FLOOR UNIT D	544 SQ.FT.																														
TOTAL UNIT D	1,088 SQ.FT.																														



1 :: ROOF PLAN  
SCALE: 3/8" = 1'-0"

2 :: ROOF FRAMING PLAN  
SCALE: 3/8" = 1'-0"

**FLOOR PLANS**

- MAIN FLOOR PLAN
- UPPER FLOOR PLAN
- ENLARGED FLOOR PLAN DETAILS

PROJECT NAME: \_\_\_\_\_

CLIENT NAME OF CLIENT PROJECT: \_\_\_\_\_

CLIENT ADDRESS Goes Here \_\_\_\_\_

PROJECT NO. KOR21-01

DESIGNED BY: R.M. / D.P.A.	DRAWN BY: R.M. / D.P.A.	CHECKED BY: R.M. / D.P.A.	LEGAL DESCRIPTION: 00000000	D.P. PERMIT NO: 00000000	S.P. PERMIT NO: 00000000	ORIGINAL ISSUE DATE: 00000000	ORIGINAL START DATE: 0000-00-00
----------------------------	-------------------------	---------------------------	-----------------------------	--------------------------	--------------------------	-------------------------------	---------------------------------

**makor architecture**

ALBERTA • BRITISH COLUMBIA

PHONE: 1-403-899-0223  
 MAKORARCHITECTURE.COM

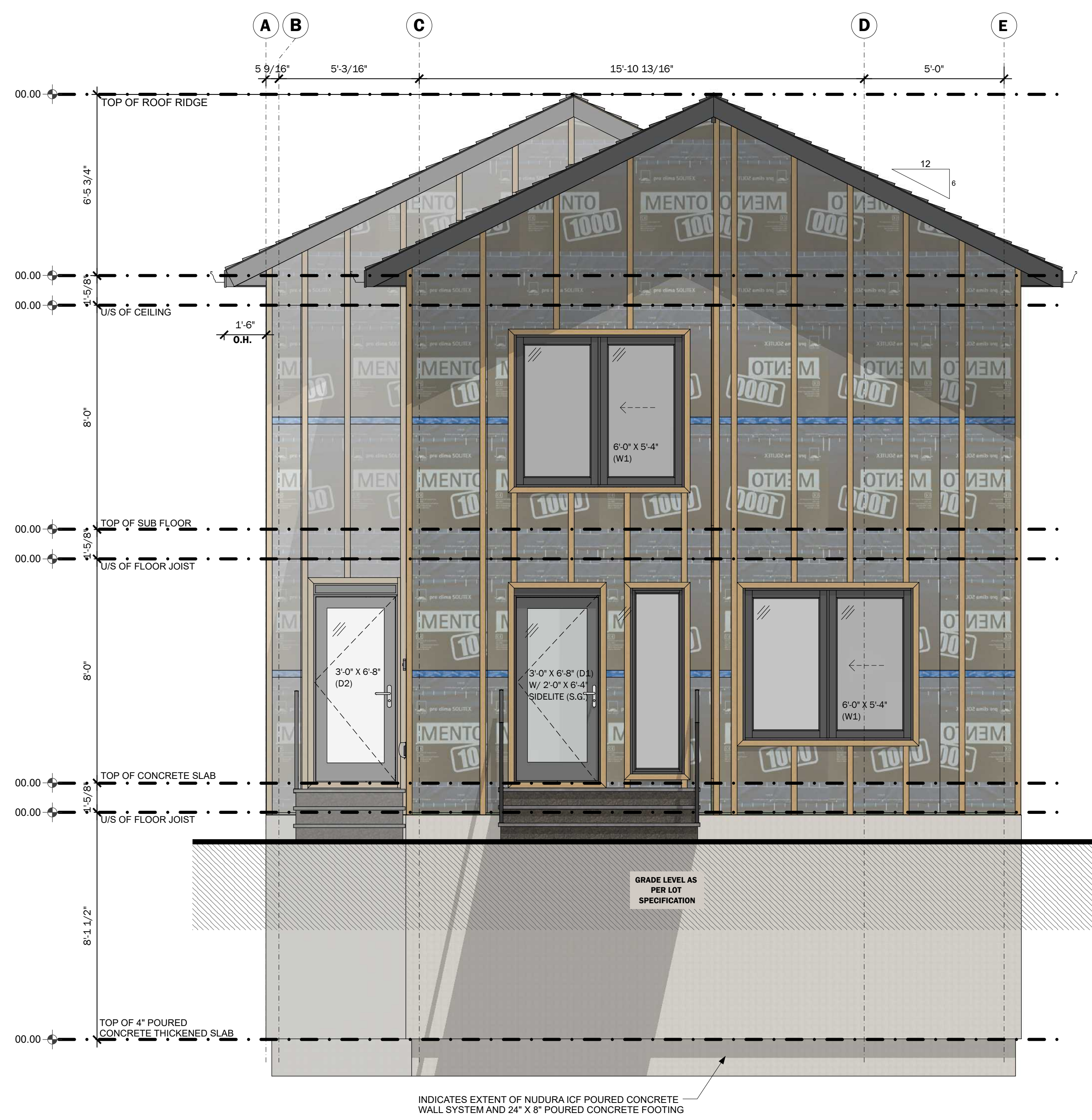
234-5149 COUNTRY HILLS BLVD., N.W.,  
 P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS

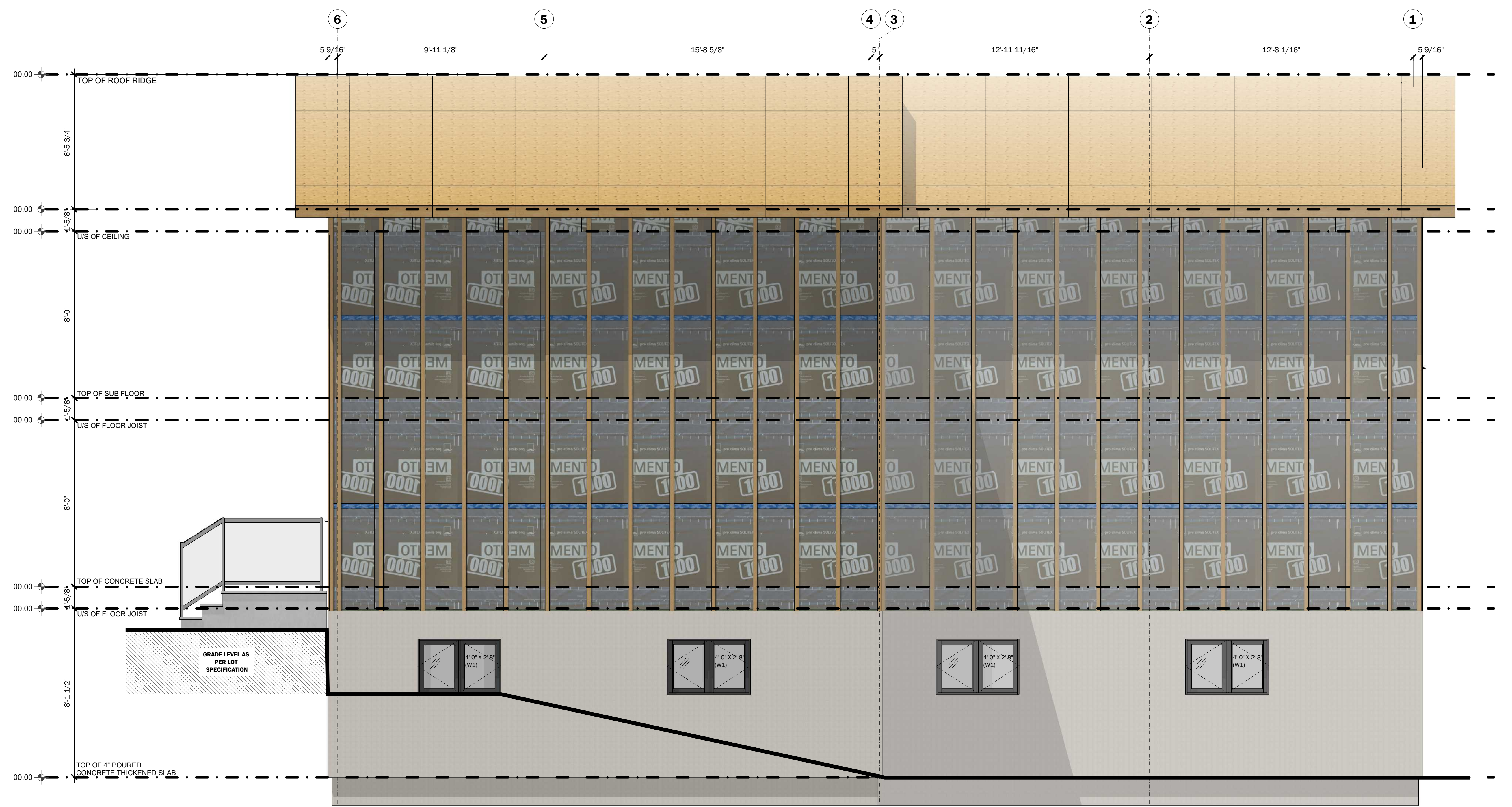
TRUE NORTH

PROJECT NORTH

RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	<b>A.02</b>



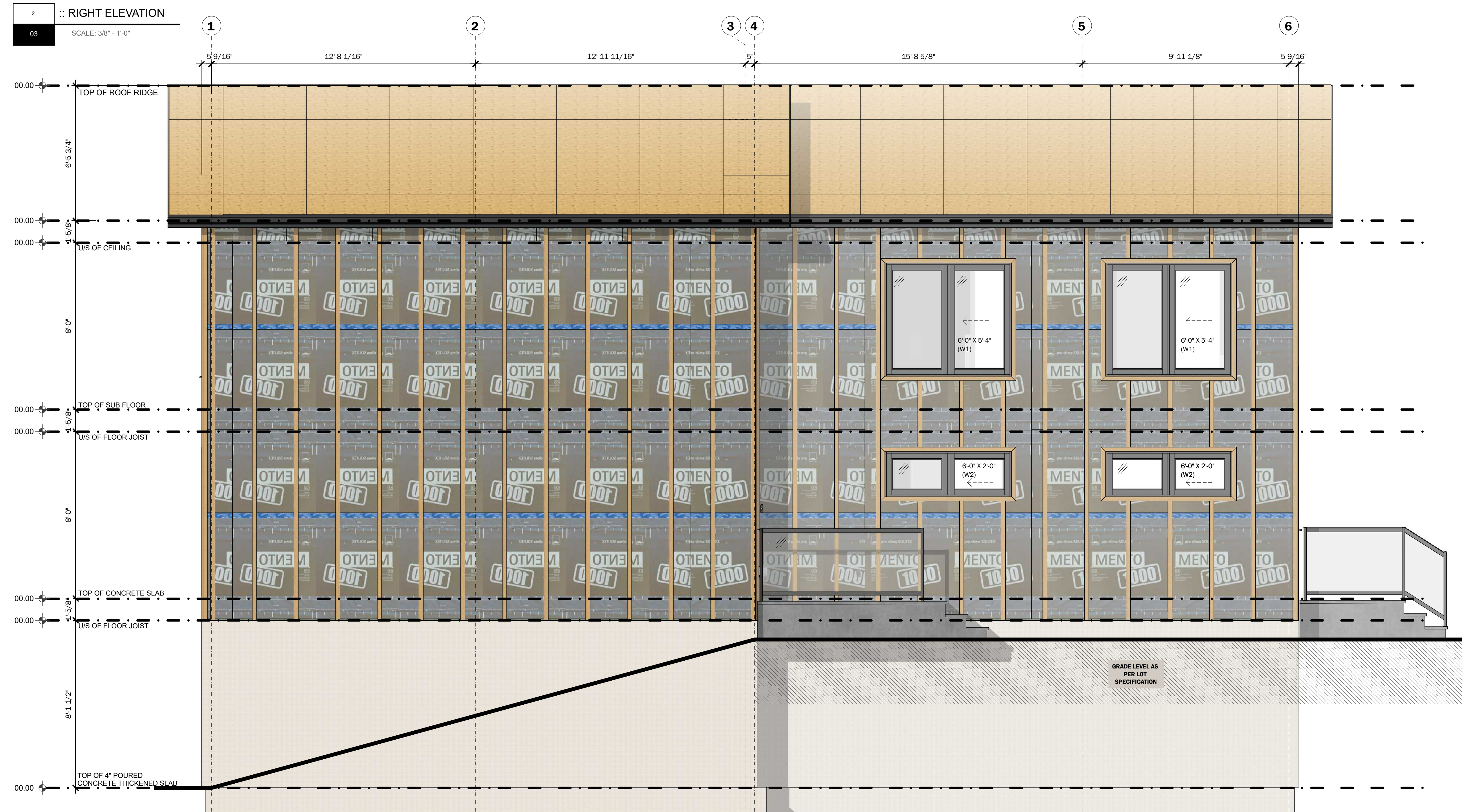
1 :: FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



2 :: RIGHT ELEVATION  
SCALE: 3/8" = 1'-0"



3 :: REAR ELEVATION  
SCALE: 3/8" = 1'-0"



4 :: LEFT ELEVATION  
SCALE: 3/8" = 1'-0"

**FLOOR PLANS**  
• MAIN FLOOR PLAN  
• UPPER FLOOR PLAN  
• ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT Address Goes Here	
NAME OF CLIENT PROJECT			
PROJECT NO. KOR21-01			
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000
D.P. PERMIT NO.	S.P. PERMIT NO.	ORIGINAL ISSUE DATE	ORIGINAL START DATE
00000000	00000000	00000000	0000-00-00

**maKOR** architecture

ALBERTA • BRITISH COLUMBIA

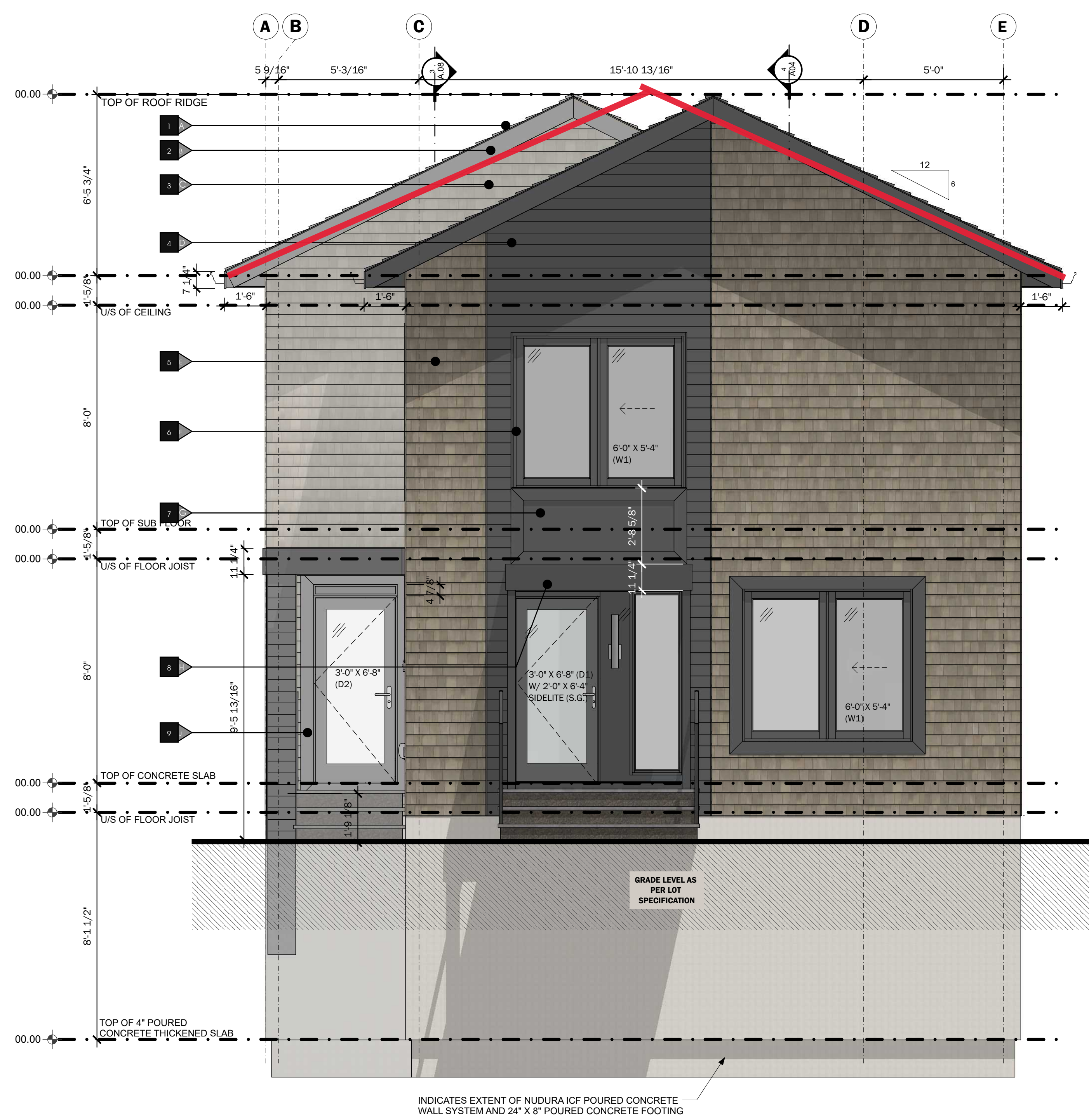
PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM

234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

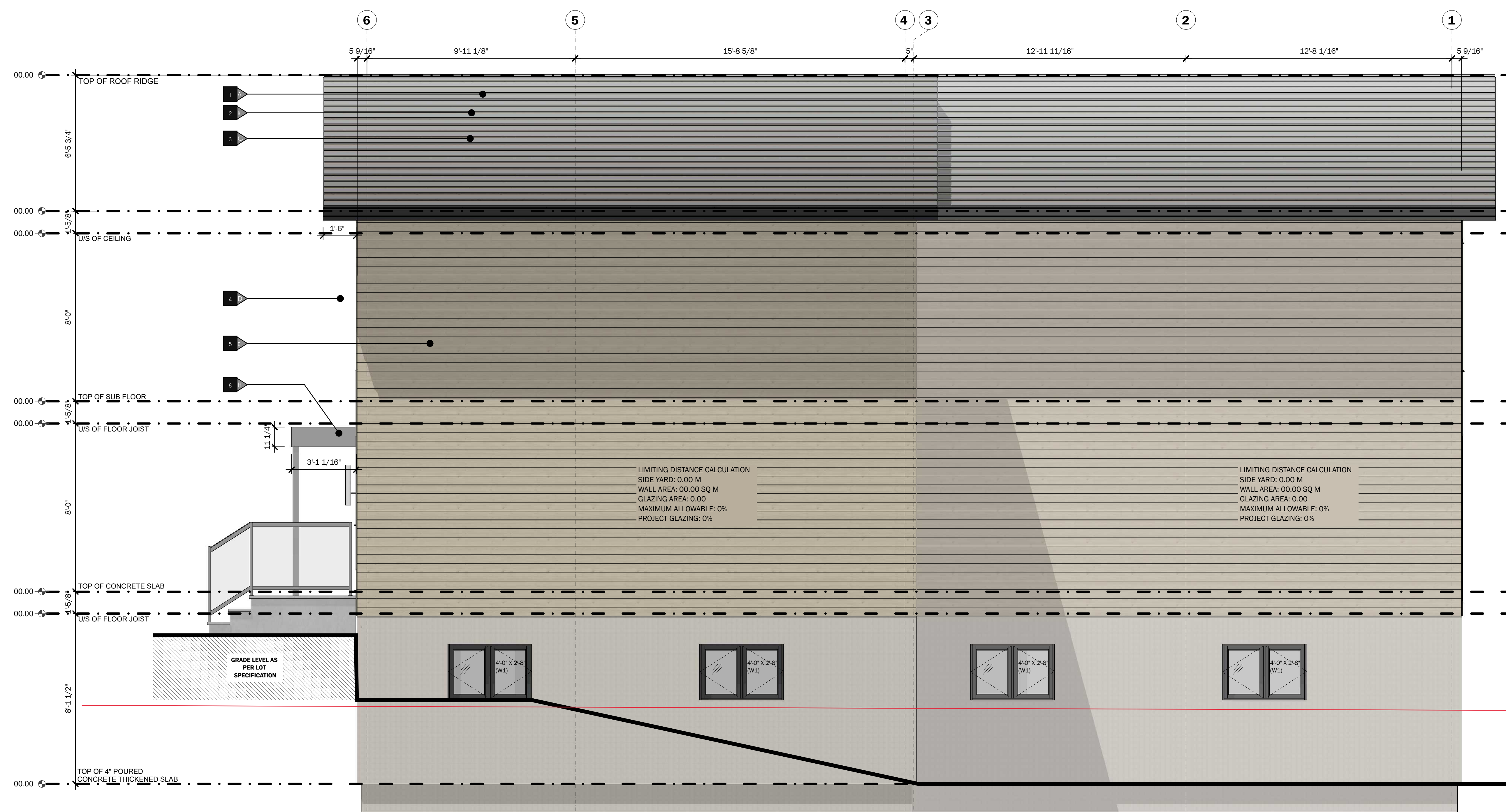
**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS

TRUE NORTH  
PROJECT NORTH

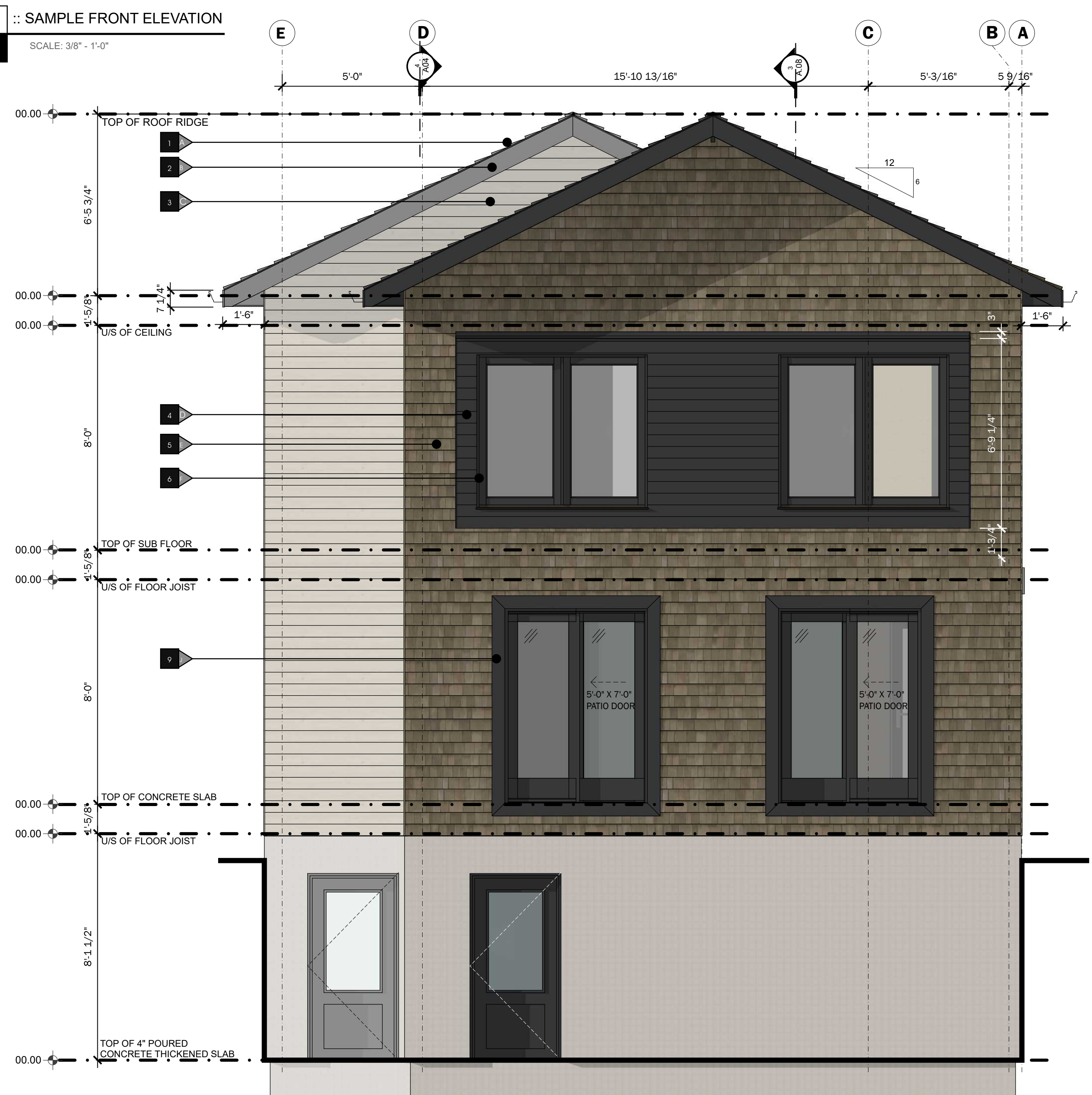
RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	A.03



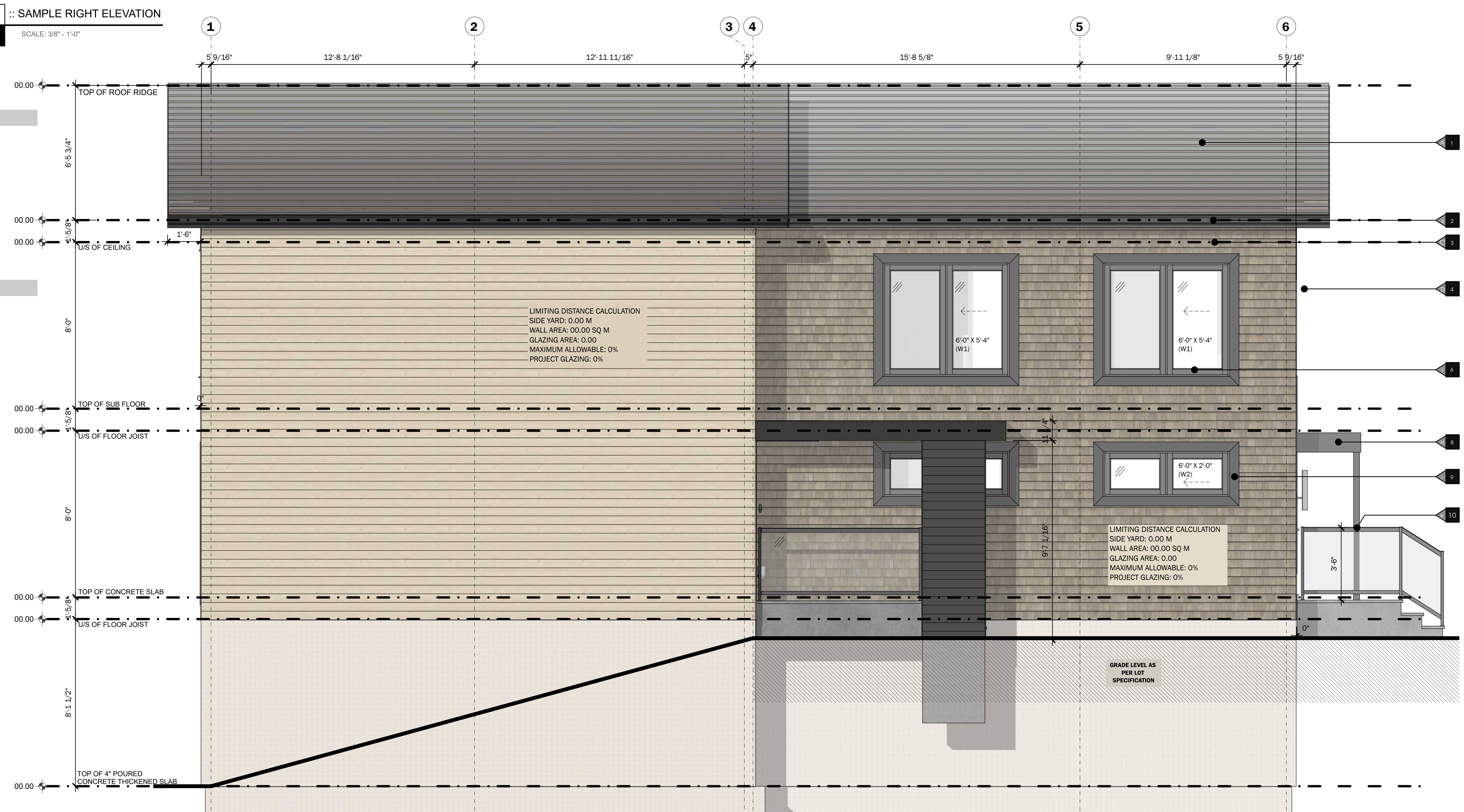
1 :: SAMPLE FRONT ELEVATION  
SCALE: 3/8" = 1'-0"



2 :: SAMPLE RIGHT ELEVATION  
SCALE: 3/8" = 1'-0"



3 :: SAMPLE REAR ELEVATION  
SCALE: 3/8" = 1'-0"



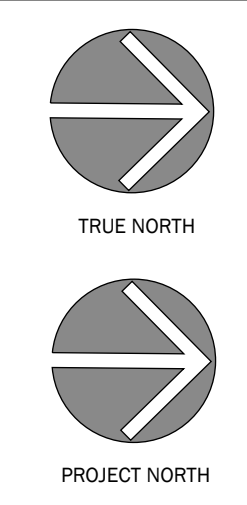
4 :: SAMPLE LEFT ELEVATION  
SCALE: 3/8" = 1'-0"

- MATERIAL TYPE**
- 1 ASPHALT SHINGLE ROOF
  - 2 PRE-FINISHED FASCIA
  - 3 HARDIE LAP SIDING
  - 4 HARDIE ALTERNATE LAP SIDING
  - 5 NATURAL WOOD SHAKE SHINGLES
  - 6 PRE-FINISHED WINDOW COLOUR
  - 7 HARDIE PANEL WITH TRIM
  - 8 PRE-FINISHED FLAT ROOF FASCIA
  - 9 SMART TRIM (WINDOWS AND DOORS)
  - 10 PRE-FINISHED METAL RAILING
  - 11 INTENTIONALLY LEFT BLANK
- MATERIAL COLOUR**
- A TO BE DETERMINED
  - B TO BE DETERMINED
  - C TO BE DETERMINED
  - D TO BE DETERMINED
  - E TO BE DETERMINED
  - F TO BE DETERMINED
  - G TO BE DETERMINED
  - H TO BE DETERMINED
  - I TO BE DETERMINED
  - J TO BE DETERMINED
  - K TO BE DETERMINED
  - L TO BE DETERMINED



**ALBERTA • BRITISH COLUMBIA**  
PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM  
234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE  
SUSTAINABLE SYSTEMS

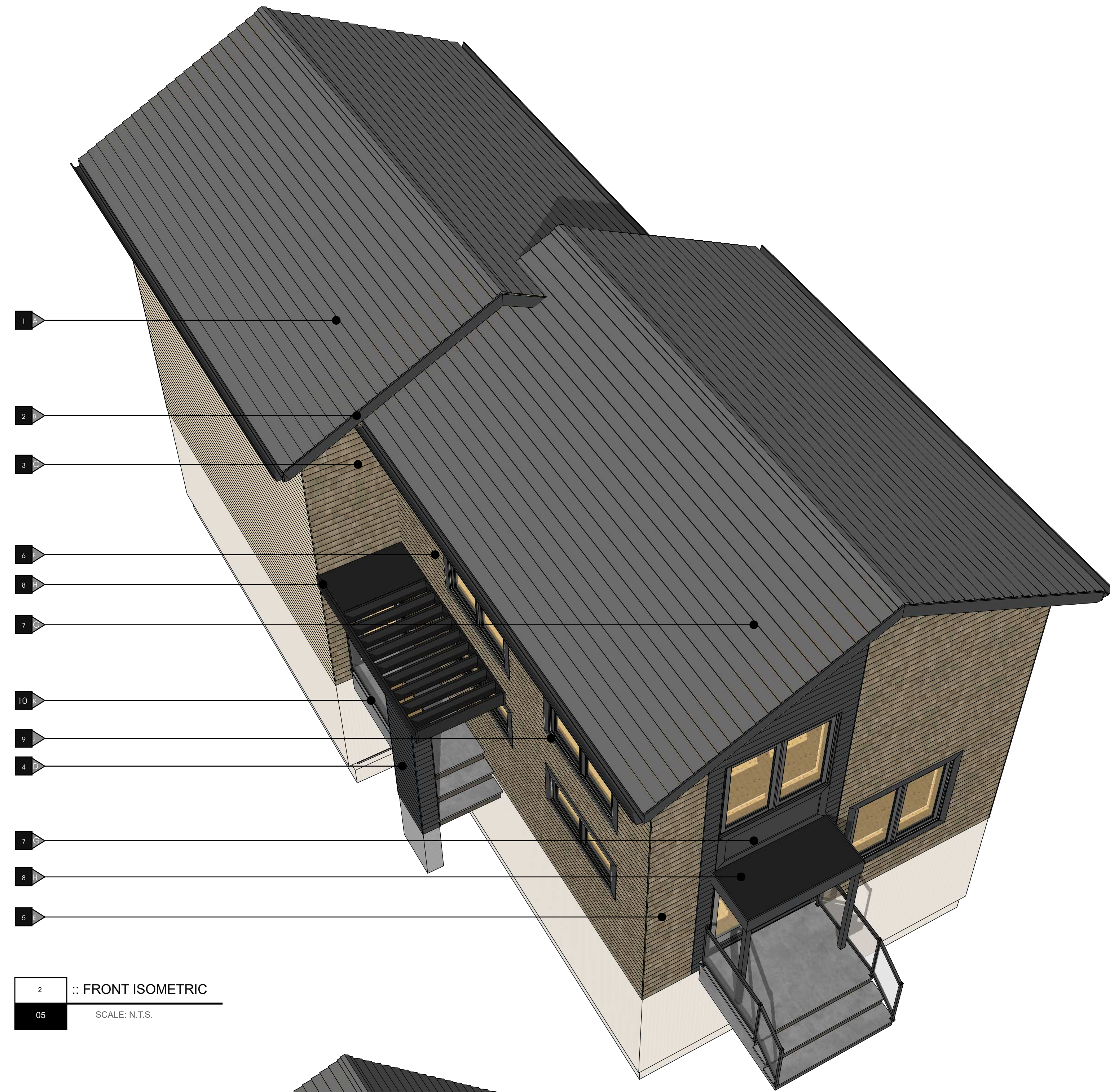


RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	

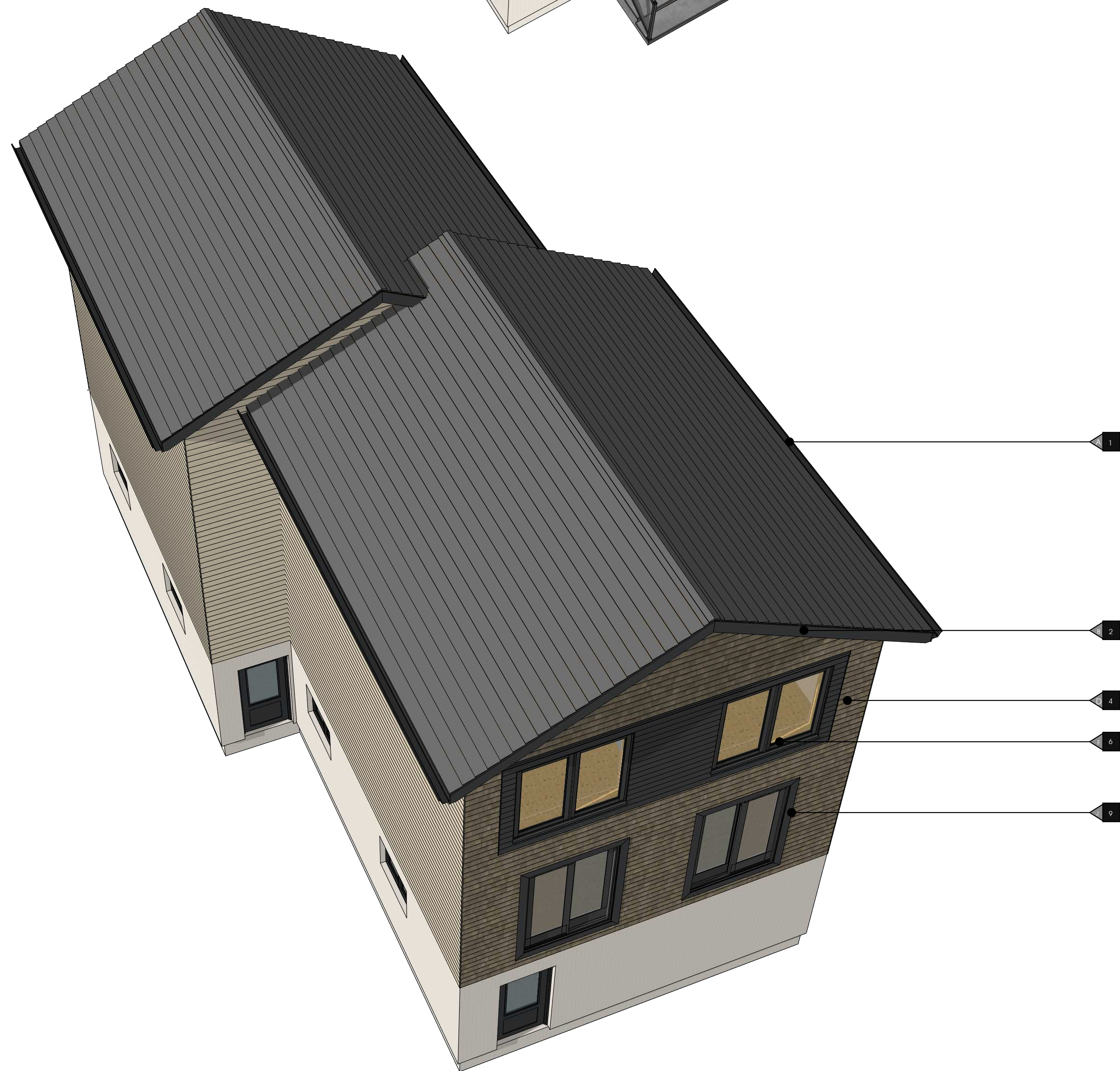
**A.04**

**FLOOR PLANS**  
• MAIN FLOOR PLAN  
• UPPER FLOOR PLAN  
• ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT Address Goes Here	
PROJECT NO. KOR21-01			
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000
D.P. PERMIT NO.	S.P. PERMIT NO.	ORIGINAL ISSUE DATE	ORIGINAL START DATE
00000000	00000000	00000000	0000-00-00



2 :: FRONT ISOMETRIC  
SCALE: N.T.S.



4 :: REAR ISOMETRIC  
SCALE: N.T.S.

**MATERIAL TYPE**

- 1 ASPHALT SHINGLE ROOF
- 2 PRE-FINISHED FASCIA
- 3 HARDIE LAP SIDING
- 4 HARDIE ALTERNATE LAP SIDING
- 5 NATURAL WOOD SHAKE SHINGLES
- 6 PRE-FINISHED WINDOW COLOUR
- 7 HARDIE PANEL WITH TRIM
- 8 PRE-FINISHED FLAT ROOF FASCIA
- 9 SMART TRIM (WINDOWS AND DOORS)
- 10 PRE-FINISHED METAL RAILING
- 11 INTENTIONALLY LEFT BLANK

**MATERIAL COLOUR**

- A TO BE DETERMINED
- B TO BE DETERMINED
- C TO BE DETERMINED
- D TO BE DETERMINED
- E TO BE DETERMINED
- F TO BE DETERMINED
- G TO BE DETERMINED
- H TO BE DETERMINED
- I TO BE DETERMINED
- J TO BE DETERMINED
- K TO BE DETERMINED
- L TO BE DETERMINED

1 :: FRONT PERSPECTIVE  
SCALE: N.T.S.

3 :: REAR PERSPECTIVE  
SCALE: N.T.S.

**FLOOR PLANS**

- MAIN FLOOR PLAN
- UPPER FLOOR PLAN
- ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT PROJECT		PROJECT NO. KOR21-01	
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION	D.P. PERMIT NO.	S.P. PERMIT NO.
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000	00000000	00000000
ORIGINAL ISSUE DATE		ORIGINAL START DATE			
00000000		0000-00-00			

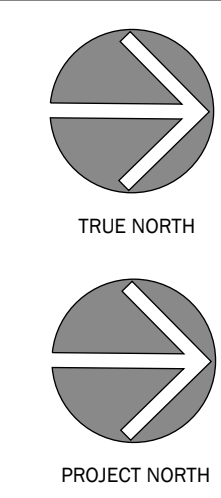


**ALBERTA • BRITISH COLUMBIA**

PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM

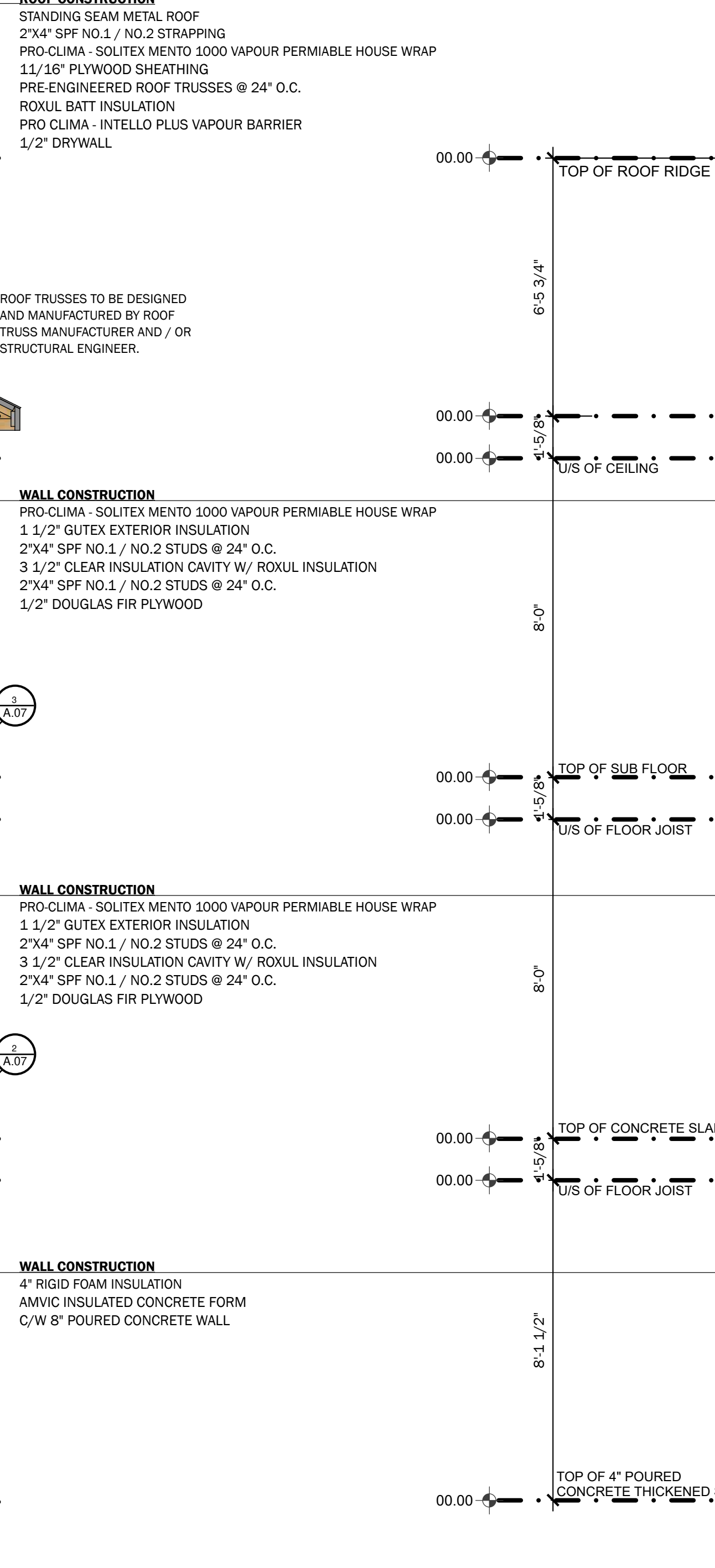
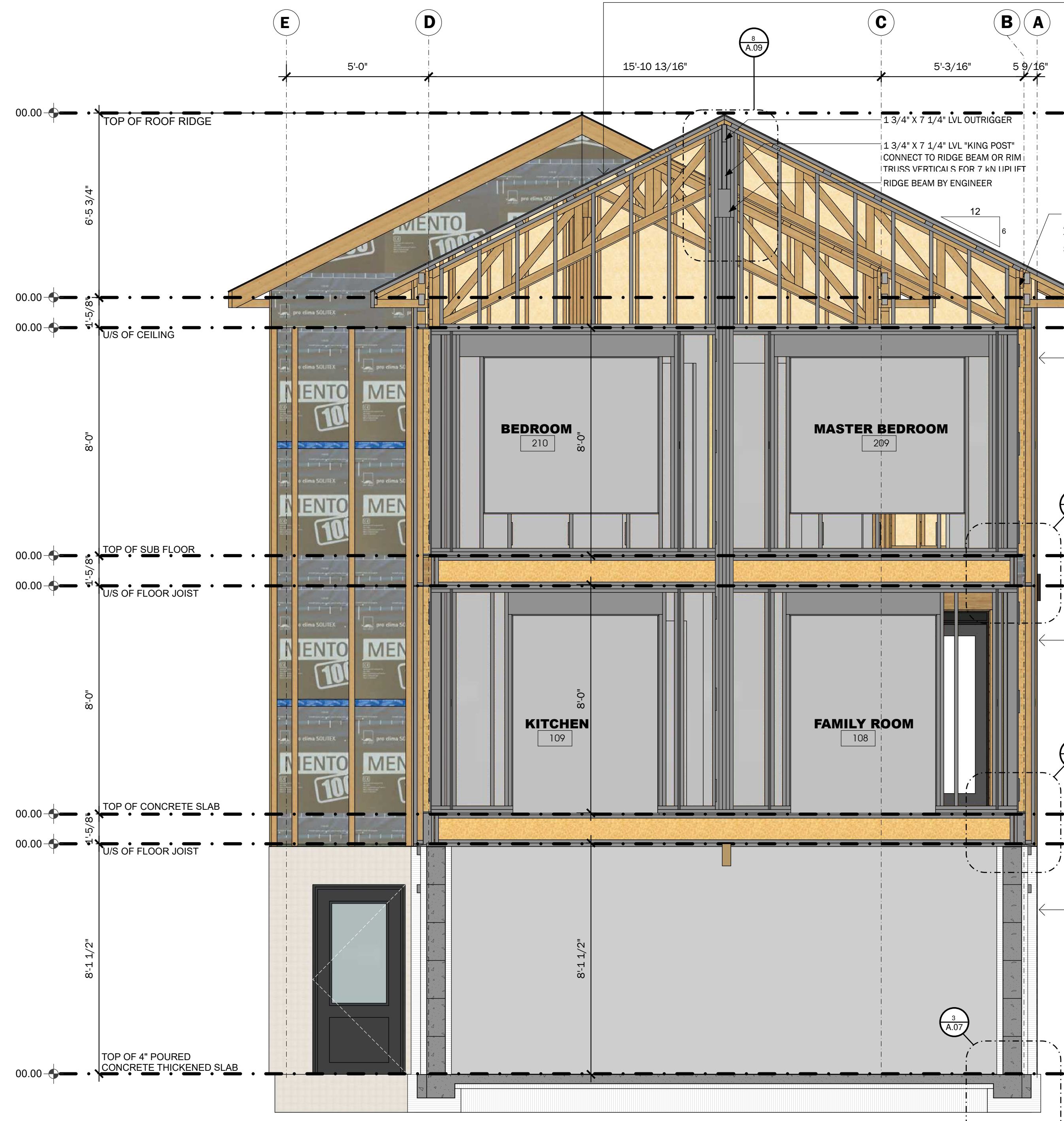
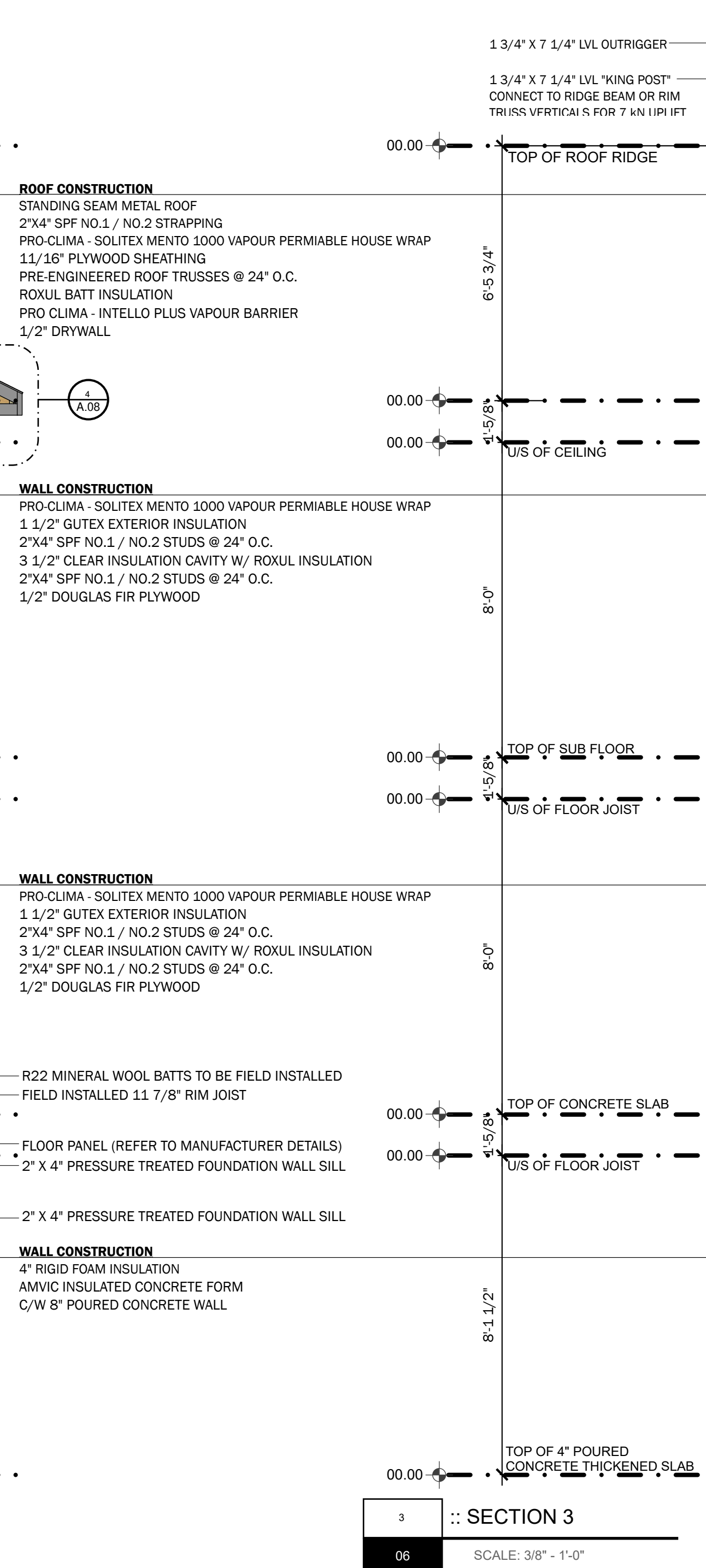
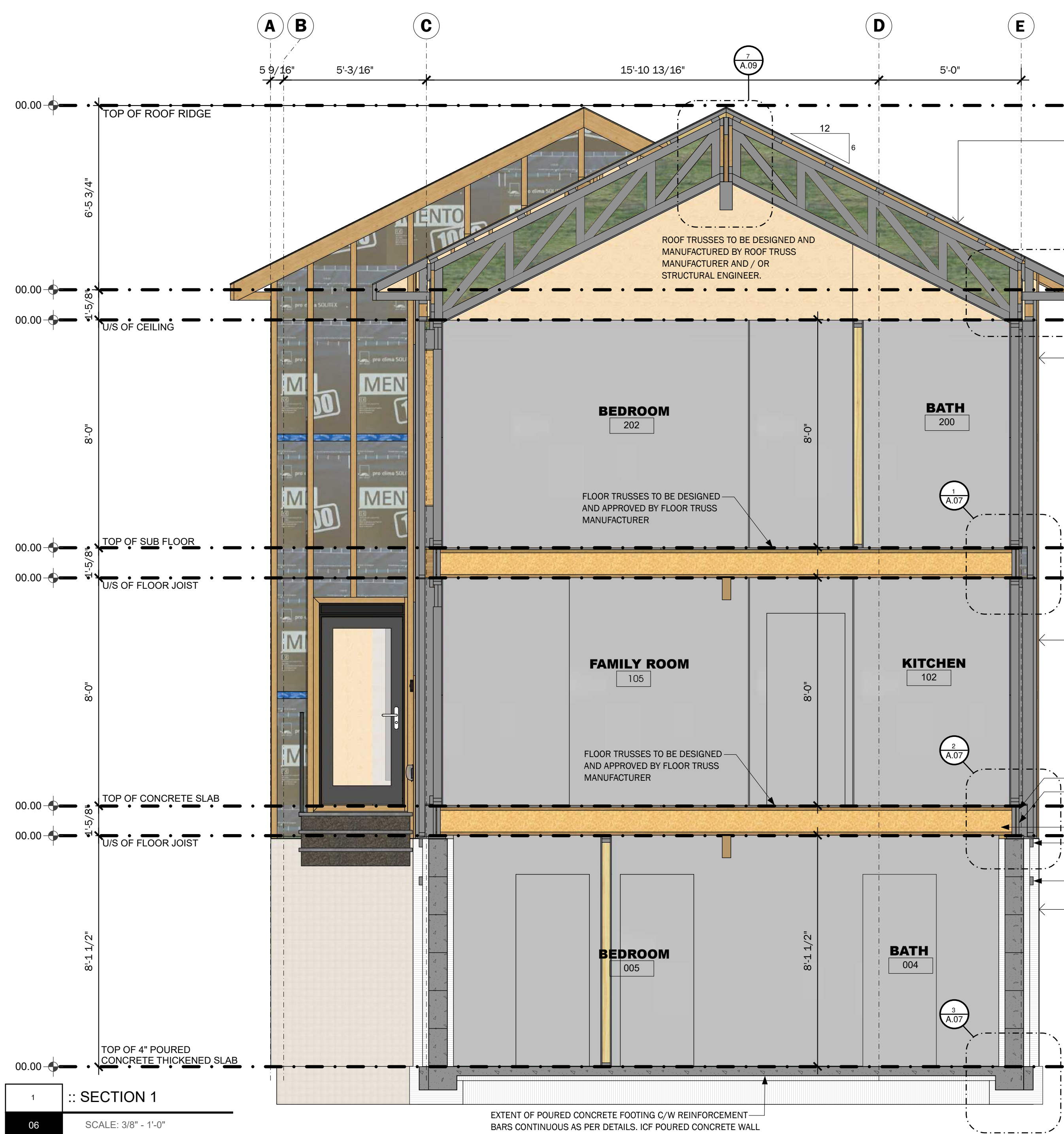
234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS



RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	

**A.05**



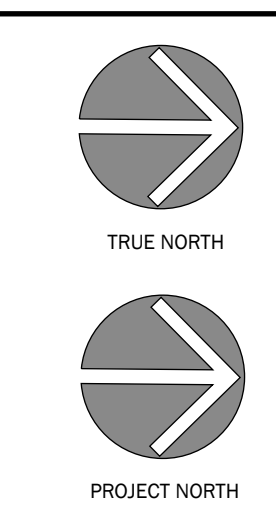
**FLOOR PLANS**  
 • MAIN FLOOR PLAN  
 • UPPER FLOOR PLAN  
 • ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT Address Goes Here	
PROJECT NO. KOR21-01			
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000
D.P. PERMIT NO.	S.P. PERMIT NO.	ORIGINAL ISSUE DATE	ORIGINAL START DATE
00000000	00000000	0000-00-00	0000-00-00

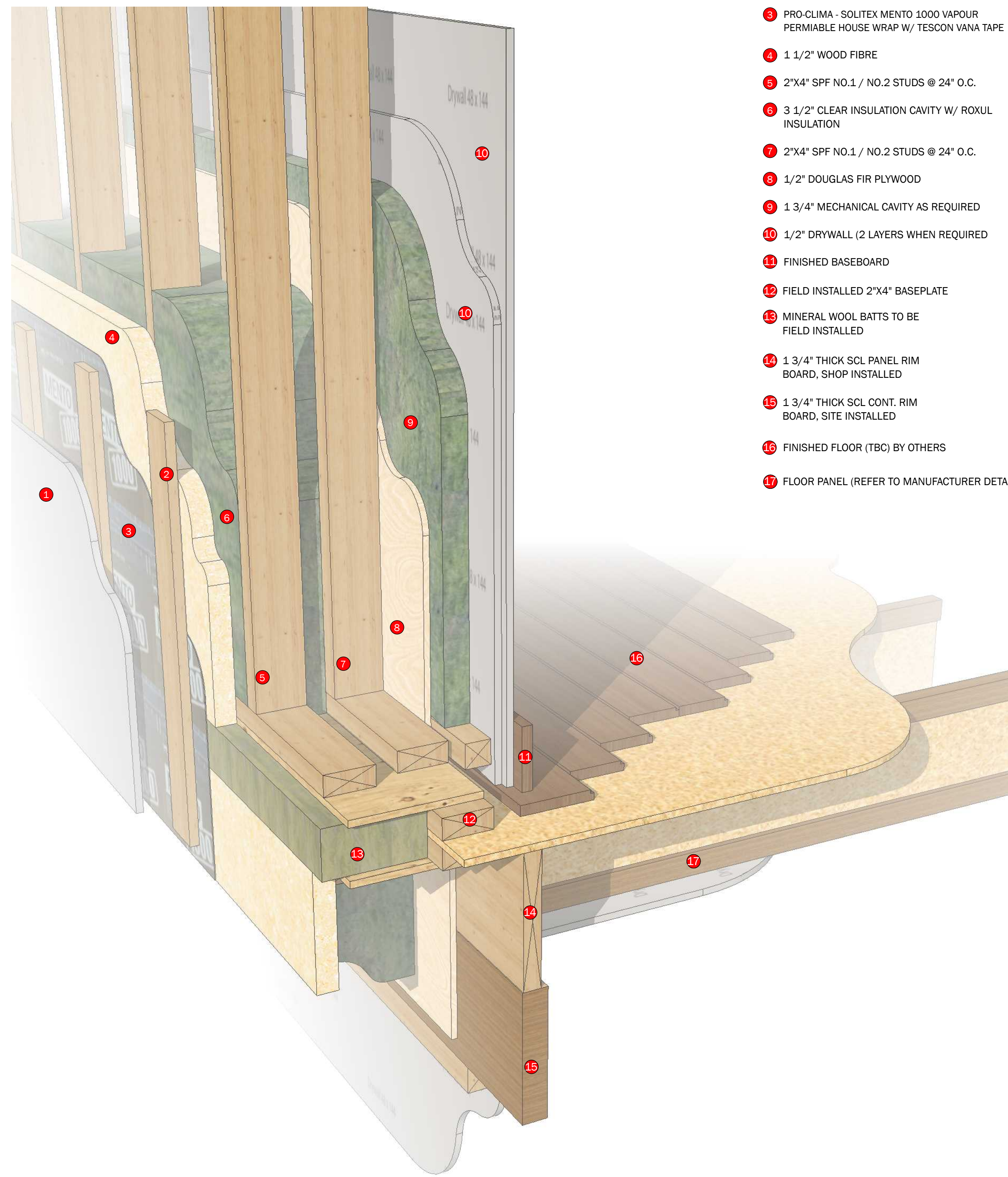


**ALBERTA • BRITISH COLUMBIA**  
 PHONE: 1-403-899-0223  
 MAKORARCHITECTURE.COM  
 234-5149 COUNTRY HILLS BLVD., N.W.,  
 P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE  
 SUSTAINABLE SYSTEMS

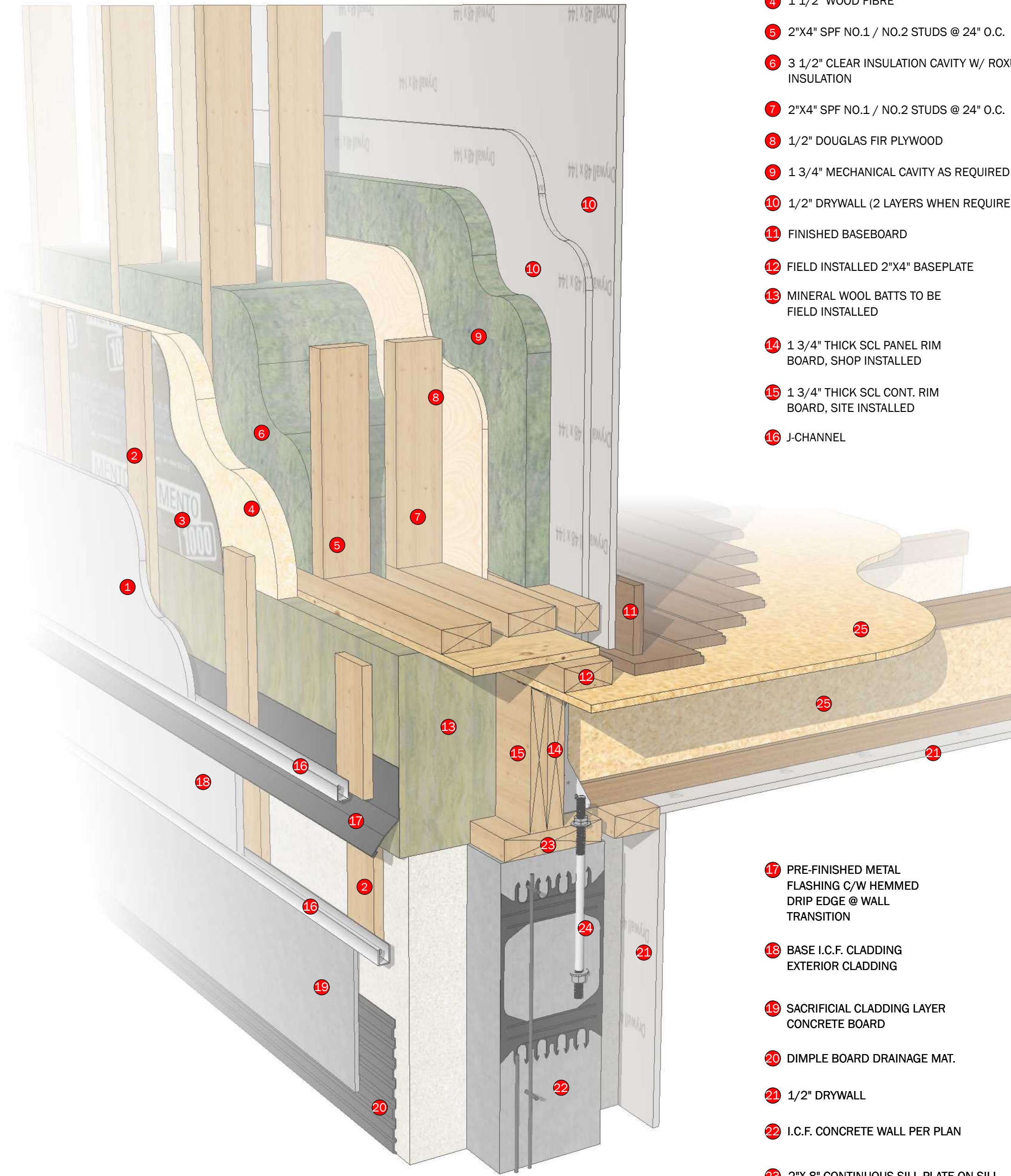


RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	A.06



- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSCREEN BOARD
- 3 PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED
- 10 1/2" DRYWALL (2 LAYERS WHEN REQUIRED)
- 11 FINISHED BASEBOARD
- 12 FIELD INSTALLED 2"x4" BASEPLATE
- 13 MINERAL WOOL BATTS TO BE FIELD INSTALLED
- 14 1 3/4" THICK SCL PANEL RIM BOARD, SHOP INSTALLED
- 15 1 3/4" THICK SCL CONT. RIM BOARD, SITE INSTALLED
- 16 FINISHED FLOOR (TBC) BY OTHERS
- 17 FLOOR PANEL (REFER TO MANUFACTURER DETAILS)

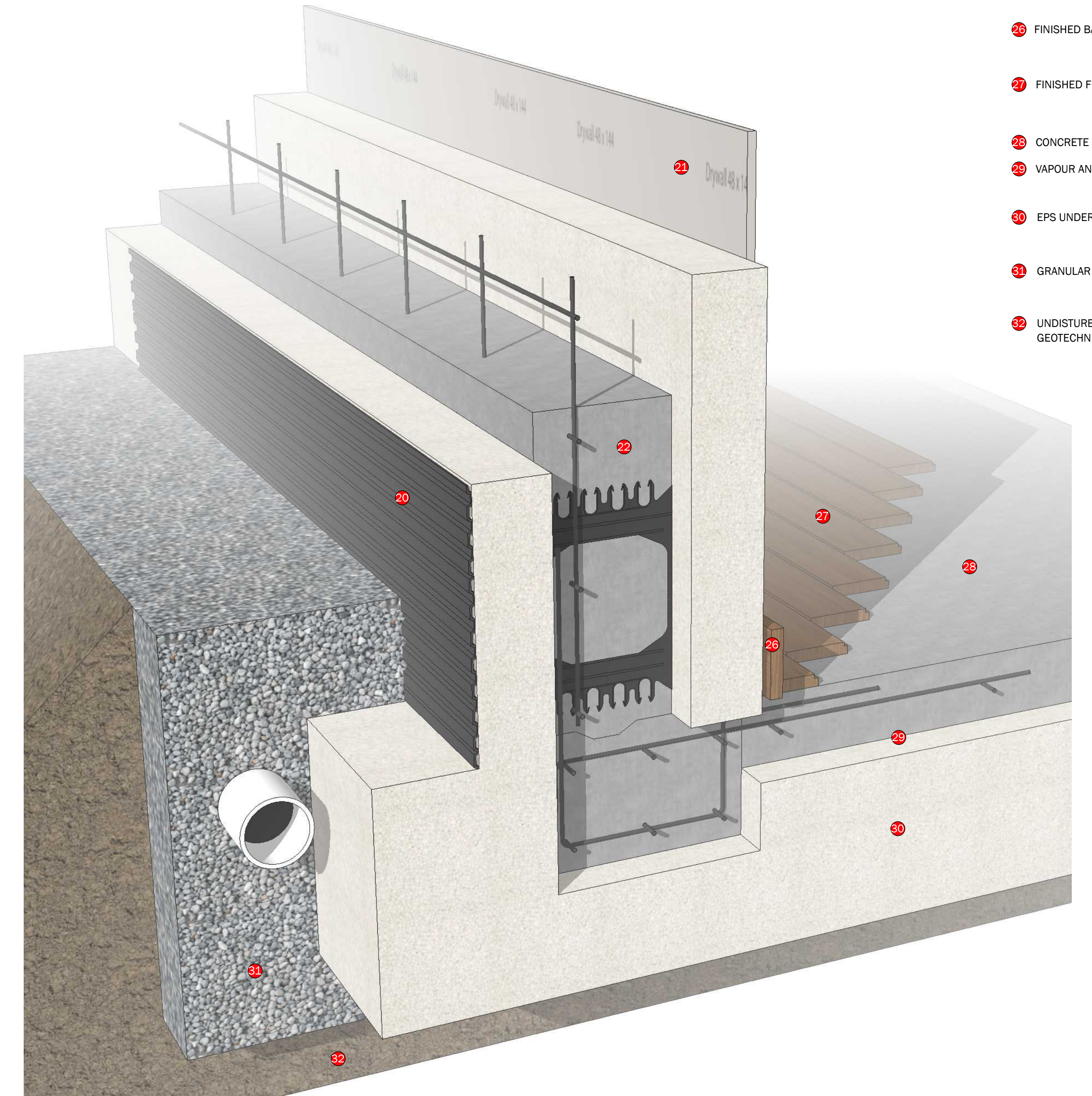
1 :: FLOOR CONNECTION DETAIL @ UPPER FLOOR 3D  
SCALE: N.T.S.



- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSCREEN BOARD
- 3 PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED
- 10 1/2" DRYWALL (2 LAYERS WHEN REQUIRED)
- 11 FINISHED BASEBOARD
- 12 FIELD INSTALLED 2"x4" BASEPLATE
- 13 MINERAL WOOL BATTS TO BE FIELD INSTALLED
- 14 1 3/4" THICK SCL PANEL RIM BOARD, SHOP INSTALLED
- 15 1 3/4" THICK SCL CONT. RIM BOARD, SITE INSTALLED
- 16 J CHANNEL

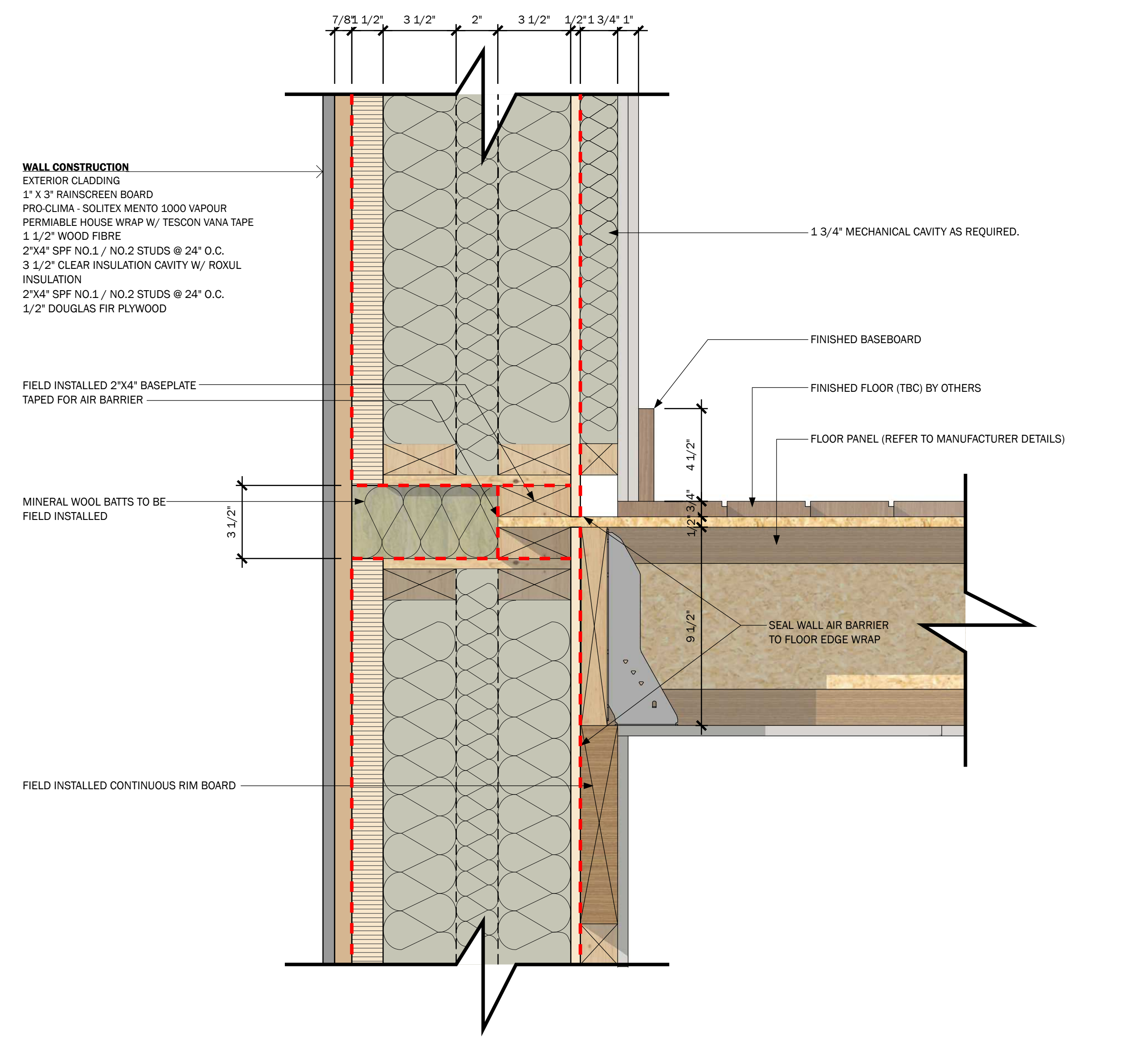
- 17 PRE-FINISHED METAL FLASHING C/W HEMMED DRIP EDGE @ WALL TRANSITION
- 18 BASE I.C.F. CLADDING EXTERIOR CLADDING
- 19 SACRIFICIAL CLADDING LAYER CONCRETE BOARD
- 20 DIMPLE BOARD DRAINAGE MAT.
- 21 1/2" DRYWALL
- 22 I.C.F. CONCRETE WALL PER PLAN
- 23 2"x8" CONTINUOUS SILL PLATE ON SILL GASKET FOR CONTINUITY PF AIR BARRIER AND PROTECTING WOOD FROM CONCRETE MOISTURE
- 24 5/8" DIA. ANCHOR BOLT @ 4'-0" O.C.
- 25 FLOOR PANEL (REFER TO MANUFACTURER DETAILS)

2 :: FLOOR CONNECTION DETAIL @ MAIN FLOOR 3D  
SCALE: N.T.S.



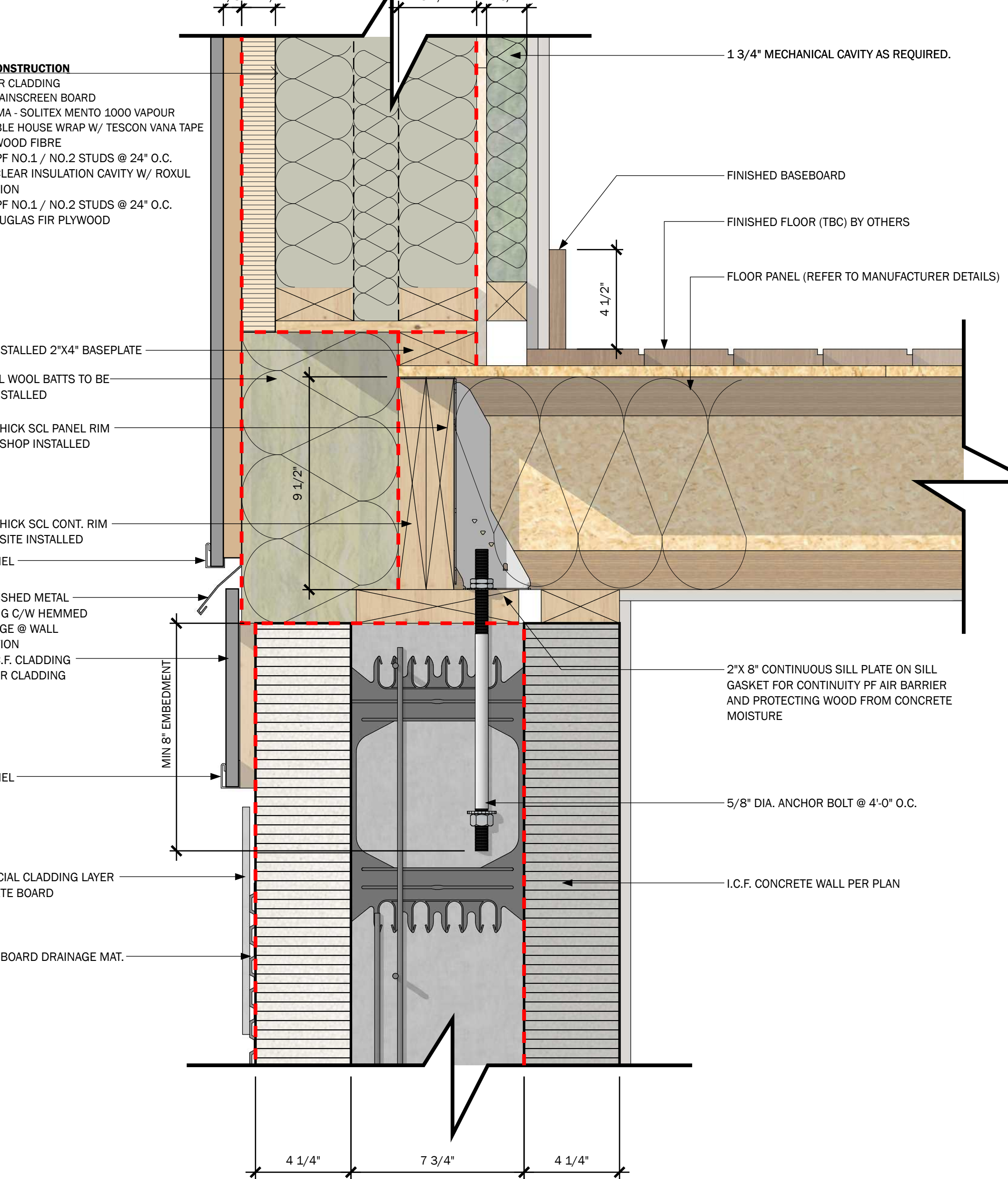
- 26 DIMPLE BOARD DRAINAGE MAT.
- 27 1/2" DRYWALL
- 28 I.C.F. CONCRETE WALL PER PLAN
- 29 FINISHED BASEBOARD
- 30 FINISHED FLOOR (TBC) BY OTHERS
- 31 CONCRETE FOOTING AND SLAB AS PER STRUCTURAL
- 32 VAPOUR AND AIR BARRIER WRAPPED AROUND FOOTING
- 33 EPS UNDER SLAB FOAM
- 34 GRANULAR FILL AS PER STRUCTURAL
- 35 UNDISTURBED SOIL BEARING AS PER GEOTECHNICAL ENGINEER APPROVAL

3 :: FLOOR CONNECTION DETAIL @ LOWER FLOOR 3D  
SCALE: N.T.S.



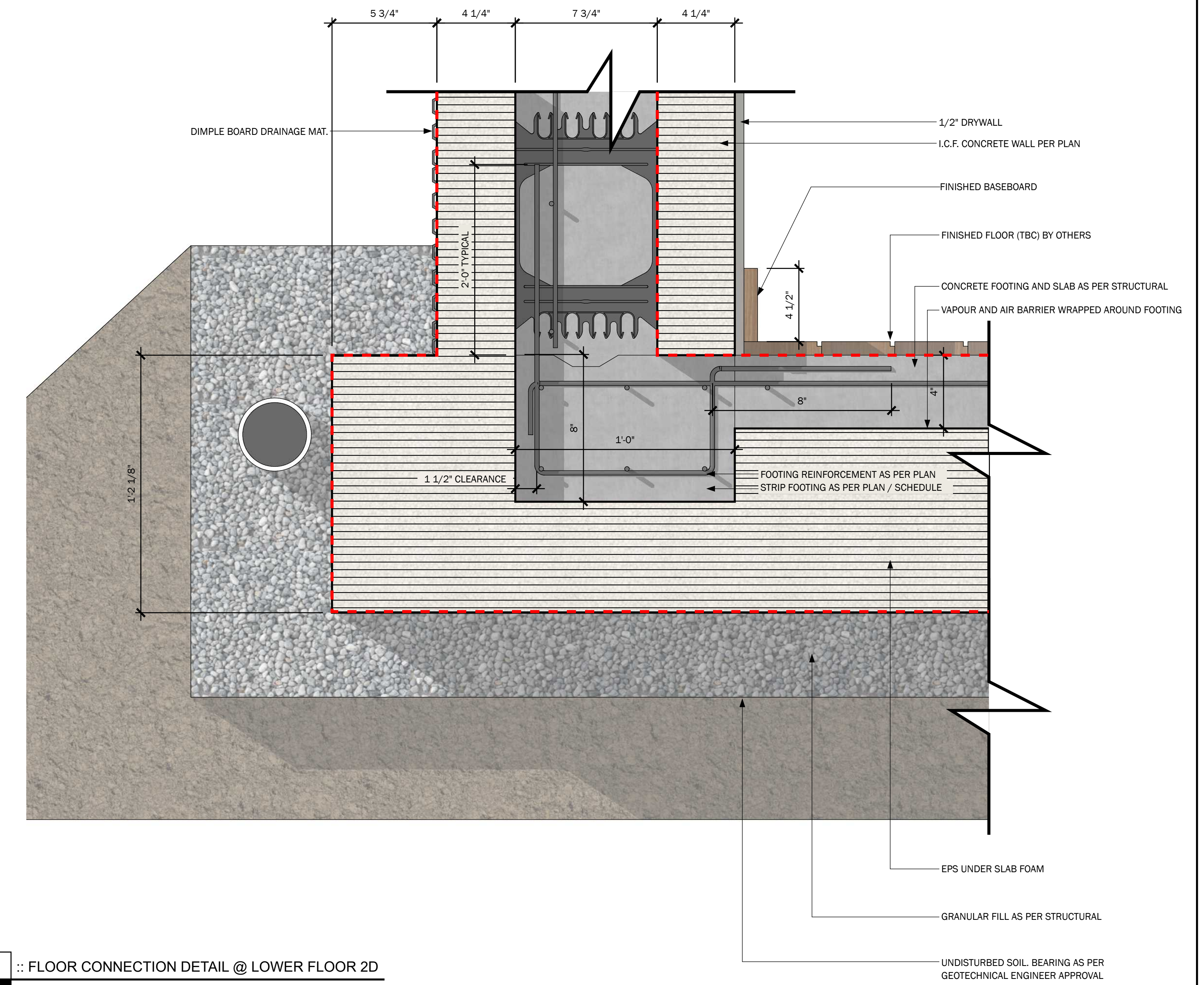
- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSCREEN BOARD
- 3 PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED.
- 10 FINISHED BASEBOARD
- 11 FINISHED FLOOR (TBC) BY OTHERS
- 12 FLOOR PANEL (REFER TO MANUFACTURER DETAILS)
- 13 MINERAL WOOL BATTS TO BE FIELD INSTALLED
- 14 1 3/4" THICK SCL PANEL RIM BOARD, SHOP INSTALLED
- 15 1 3/4" THICK SCL CONT. RIM BOARD, SITE INSTALLED
- 16 J-CHANNEL
- 17 PRE-FINISHED METAL FLASHING C/W HEMMED DRIP EDGE @ WALL TRANSITION
- 18 BASE I.C.F. CLADDING EXTERIOR CLADDING

1 :: FLOOR CONNECTION DETAIL @ UPPER FLOOR 2D  
SCALE: 3" = 1'-0"



- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSCREEN BOARD
- 3 PRO-CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED.
- 10 FINISHED BASEBOARD
- 11 FINISHED FLOOR (TBC) BY OTHERS
- 12 FLOOR PANEL (REFER TO MANUFACTURER DETAILS)
- 13 FIELD INSTALLED 2"x4" BASEPLATE
- 14 MINERAL WOOL BATTS TO BE FIELD INSTALLED
- 15 1 3/4" THICK SCL PANEL RIM BOARD, SHOP INSTALLED
- 16 1 3/4" THICK SCL CONT. RIM BOARD, SITE INSTALLED
- 17 J-CHANNEL
- 18 PRE-FINISHED METAL FLASHING C/W HEMMED DRIP EDGE @ WALL TRANSITION
- 19 BASE I.C.F. CLADDING EXTERIOR CLADDING
- 20 J-CHANNEL
- 21 MIN. 8" EMBEDMENT
- 22 2"x8" CONTINUOUS SILL PLATE ON SILL GASKET FOR CONTINUITY PF AIR BARRIER AND PROTECTING WOOD FROM CONCRETE MOISTURE
- 23 5/8" DIA. ANCHOR BOLT @ 4'-0" O.C.
- 24 I.C.F. CONCRETE WALL PER PLAN
- 25 DIMPLE BOARD DRAINAGE MAT.

2 :: FLOOR CONNECTION DETAIL @ MAIN FLOOR 2D  
SCALE: 3" = 1'-0"



- 1 1/2" DRYWALL
- I.C.F. CONCRETE WALL PER PLAN
- FINISHED BASEBOARD
- FINISHED FLOOR (TBC) BY OTHERS
- CONCRETE FOOTING AND SLAB AS PER STRUCTURAL
- VAPOUR AND AIR BARRIER WRAPPED AROUND FOOTING
- EPS UNDER SLAB FOAM
- GRANULAR FILL AS PER STRUCTURAL
- UNDISTURBED SOIL BEARING AS PER GEOTECHNICAL ENGINEER APPROVAL

3 :: FLOOR CONNECTION DETAIL @ LOWER FLOOR 2D  
SCALE: 3" = 1'-0"

**FLOOR PLANS**  
• MAIN FLOOR PLAN  
• UPPER FLOOR PLAN  
• ENLARGED FLOOR PLAN DETAILS

PROJECT NAME  
**NAME OF CLIENT**  
PROJECT  
CLIENT NAME OF CLIENT  
Address Goes Here

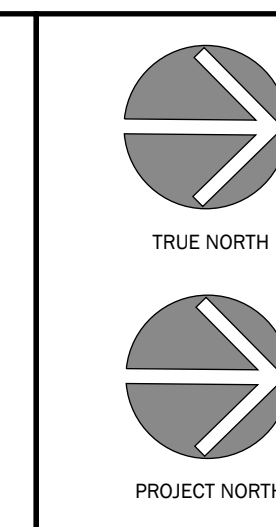
PROJECT NO. KOR21-01  
DESIGNED BY: R.M. / D.P.A.  
DRAWN BY: R.M. / D.P.A.  
CHECKED BY: R.M. / D.P.A.  
LEGAL DESCRIPTION: 00000000  
D.P. PERMIT NO: 00000000  
S.P. PERMIT NO: 00000000  
ORIGINAL ISSUE DATE: 00000000  
ORIGINAL START DATE: 0000-00-00

THE PLAN AND RELATED MATERIALS ARE PREPARED BY CONTRACTOR AND ARE THE PROPERTY OF THE DESIGNER. REPRODUCTION OF THIS PLAN OTHER THAN BY THE CONTRACTOR IS PROHIBITED. ANY FORM OF REPRODUCTION OR DISTRIBUTION OF THESE MATERIALS WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER IS PROHIBITED. CLIENTS ARE LIMITED TO ONE TIME USE TO CONSTRUCT A SINGLE HOUSE OR ONE SET OF BUILDING. NO ONE MAY COPY, REPRODUCE, DISTRIBUTE, ALTER OR USE THE PLAN FOR ANY RELATED MATTER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. DRAWINGS ARE NOT TO BE QUOTED, ANY ERRORS, OMISSIONS OR CONFLICTS WITH THE DRAWINGS OR RELATED MATERIALS MUST BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. IF THESE ERRORS, OMISSIONS OR CONFLICTS ARE NOT REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION THE ARCHITECT AND/OR OWNER ARE FULLY RESPONSIBLE. THE USER ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THE DESIGNER PRIOR TO CONSTRUCTION. THE USER ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THE DESIGNER PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. THE DRAWING SUPERSEDES PREVIOUS VERSIONS.

**makor**  
architecture

ALBERTA • BRITISH COLUMBIA  
PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM  
234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

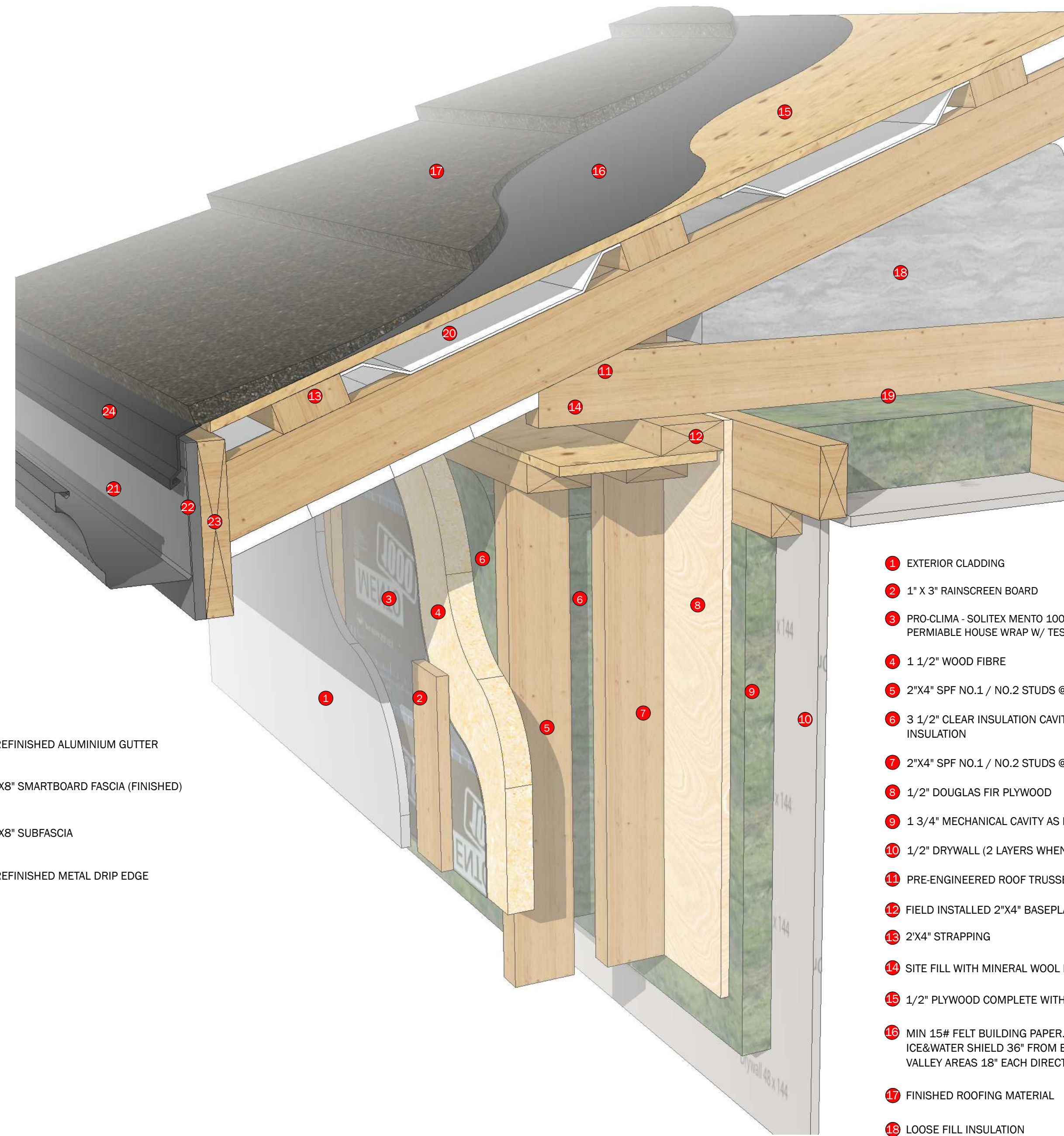
**BOSS** | BUILDING OFFSITE  
SUSTAINABLE SYSTEMS



RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	A.07

**A.07**

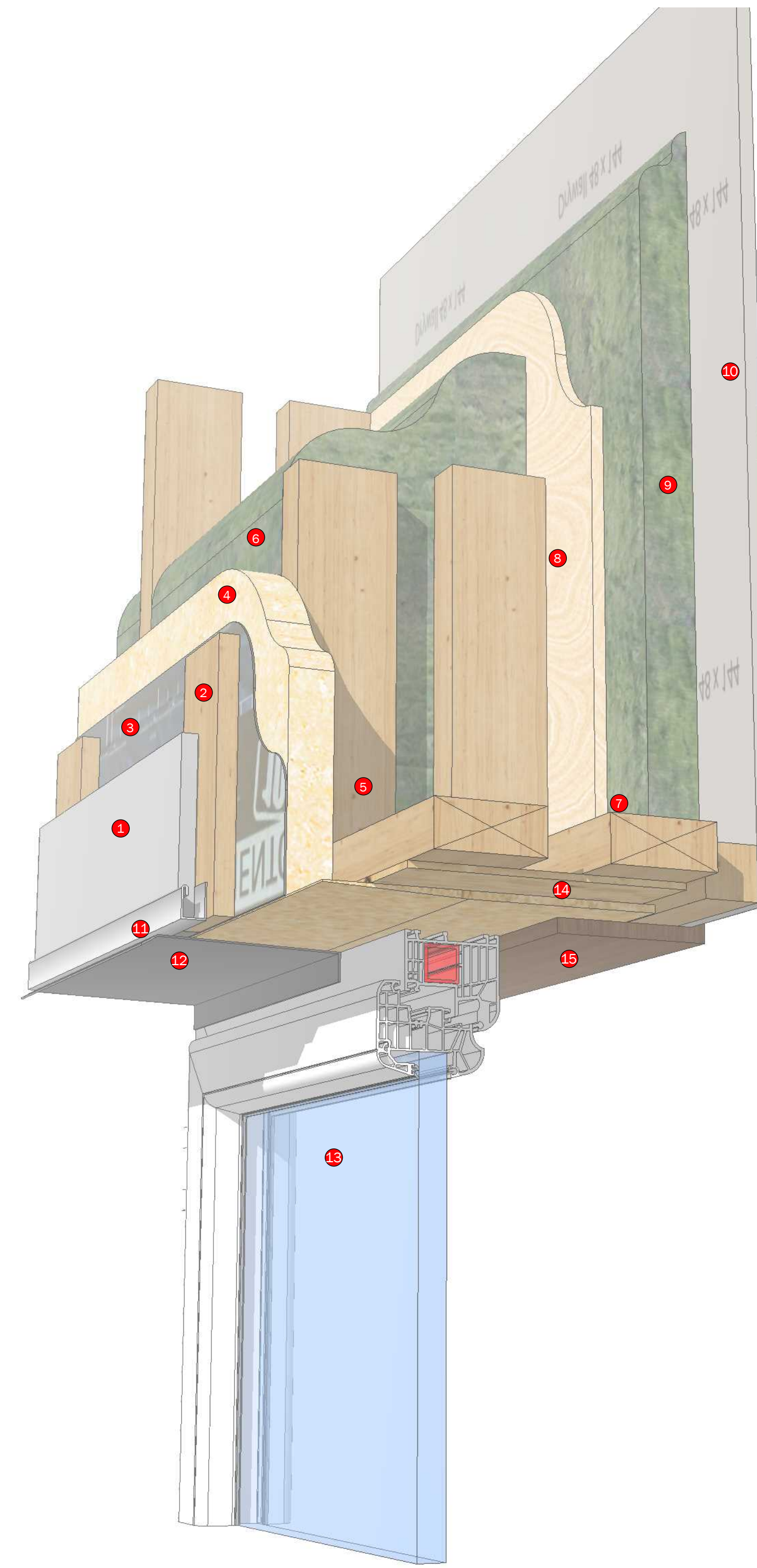




- 24 PREFINISHED ALUMINUM GUTTER
- 23 1"x8" SMARTBOARD FASCIA (FINISHED)
- 22 2"x8" SUBFASCIA
- 21 PREFINISHED METAL DRIP EDGE

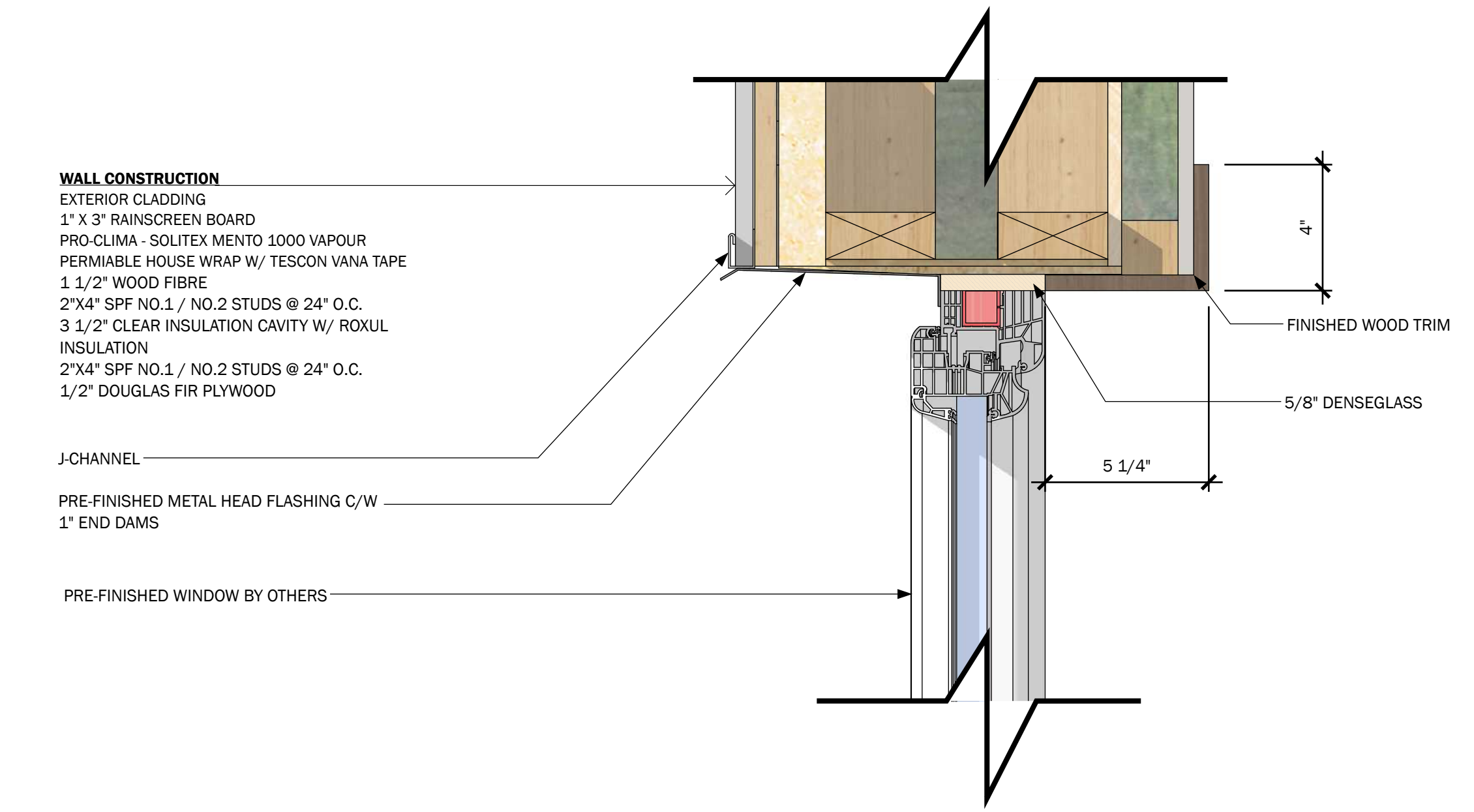
- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSREEN BOARD
- 3 PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED
- 10 1/2" DRYWALL (2 LAYERS WHEN REQUIRED)
- 11 PRE-ENGINEERED ROOF TRUSSES
- 12 FIELD INSTALLED 2"x4" BASEPLATE
- 13 2"x4" STRAPPING
- 14 SITE FILL WITH MINERAL WOOL INSULATION
- 15 1/2" PLYWOOD COMPLETE WITH H-CLIPS
- 16 MIN 15# FELT BUILDING PAPER, PREFERRED ICE/WATER SHIELD 36" FROM EAVE AND ALL VALLEY AREAS 36" EACH DIRECTION
- 17 FINISHED ROOFING MATERIAL
- 18 LOOSE FILL INSULATION
- 19 AIR BARRIER
- 20 INSULATION BAFFLES

4 :: ROOF CONNECTION DETAIL 3D  
SCALE: N.T.S.



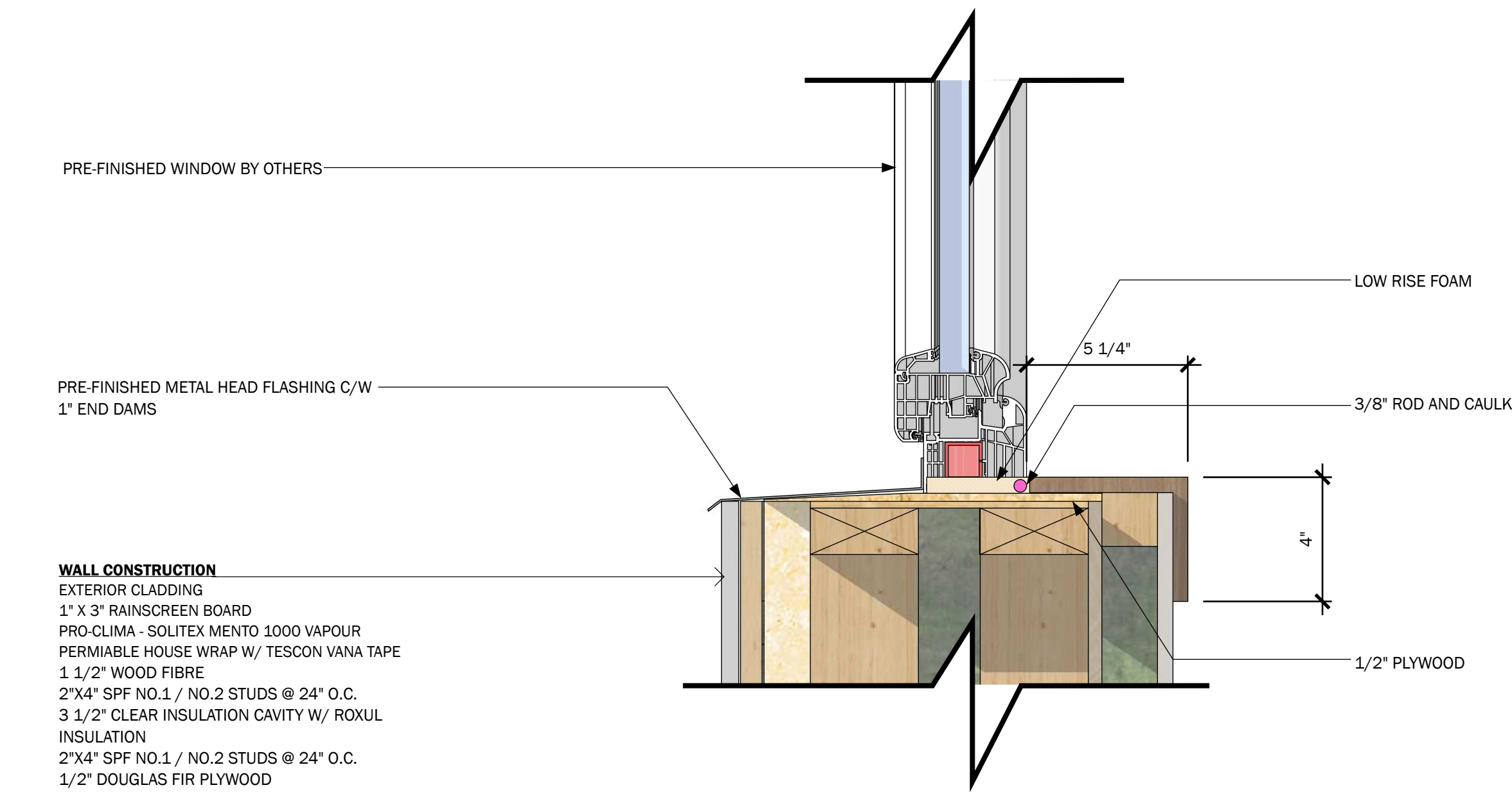
- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSREEN BOARD
- 3 PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED
- 10 1/2" DRYWALL (2 LAYERS WHEN REQUIRED)
- 11 JCHANNEL
- 12 PRE-FINISHED METAL HEAD FLASHING C/W 1" END DAMS
- 13 PRE-FINISHED WINDOW BY OTHERS
- 14 DENSEGLASS
- 15 FINISHED WOOD TRIM

5 :: WINDOW DETAIL @ HEADER 3D  
SCALE: N.T.S.



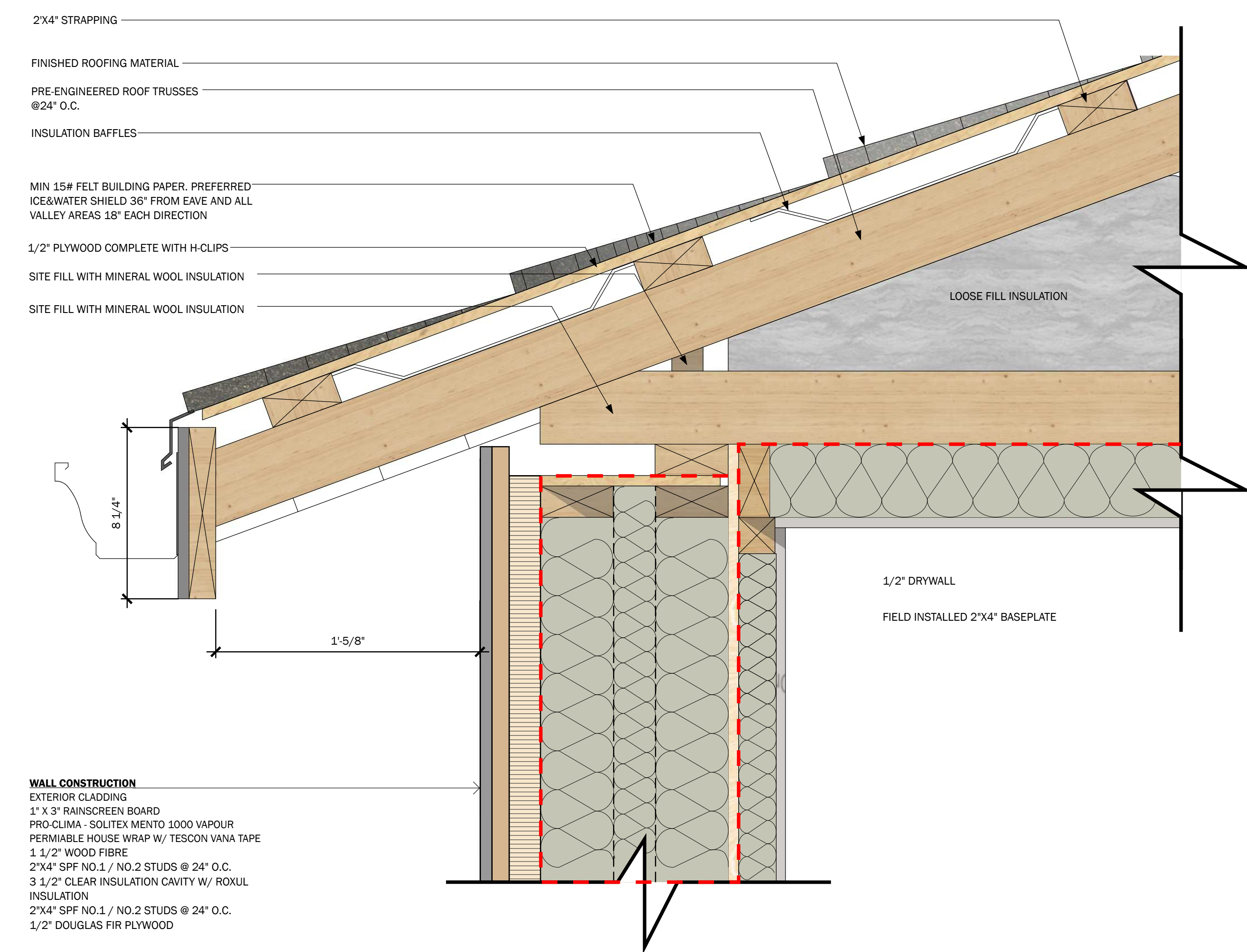
- WALL CONSTRUCTION**  
EXTERIOR CLADDING  
1" X 3" RAINSREEN BOARD  
PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE  
1 1/2" WOOD FIBRE  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
1/2" DOUGLAS FIR PLYWOOD

6 :: WINDOW DETAIL @ HEADER 2D  
SCALE: 3" = 1'-0"



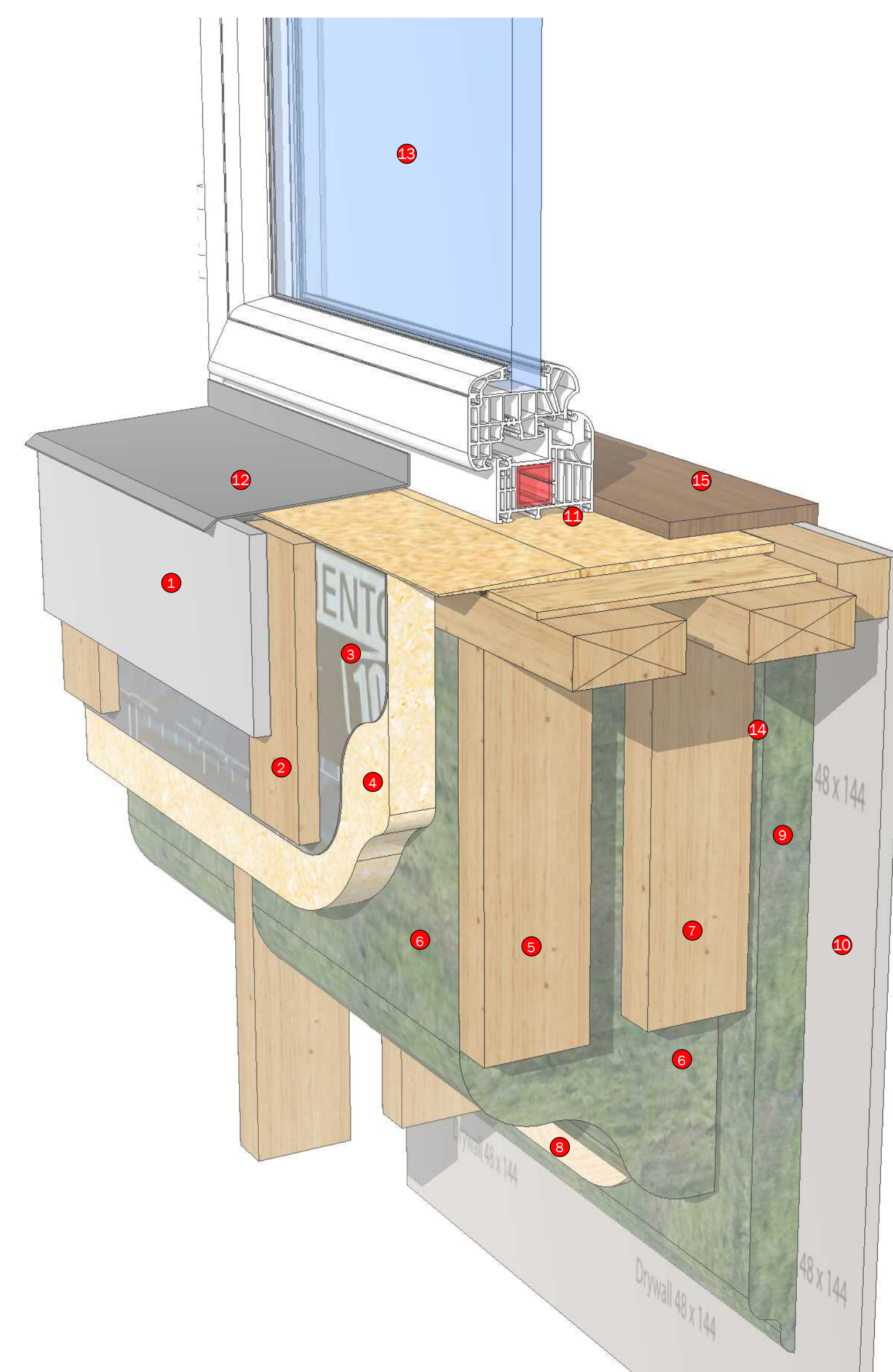
- WALL CONSTRUCTION**  
EXTERIOR CLADDING  
1" X 3" RAINSREEN BOARD  
PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE  
1 1/2" WOOD FIBRE  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
1/2" DOUGLAS FIR PLYWOOD

7 :: WINDOW DETAIL @ SILL 2D  
SCALE: 3" = 1'-0"



- WALL CONSTRUCTION**  
EXTERIOR CLADDING  
1" X 3" RAINSREEN BOARD  
PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE  
1 1/2" WOOD FIBRE  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION  
2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.  
1/2" DOUGLAS FIR PLYWOOD

4 :: ROOF CONNECTION DETAIL 2D  
SCALE: 3" = 1'-0"



- 1 EXTERIOR CLADDING
- 2 1" X 3" RAINSREEN BOARD
- 3 PRO CLIMA - SOLITEX MENTO 1000 VAPOUR PERMEABLE HOUSE WRAP W/ TESCON VANA TAPE
- 4 1 1/2" WOOD FIBRE
- 5 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 6 3 1/2" CLEAR INSULATION CAVITY W/ ROXUL INSULATION
- 7 2"x4" SPF NO.1 / NO.2 STUDS @ 24" O.C.
- 8 1/2" DOUGLAS FIR PLYWOOD
- 9 1 3/4" MECHANICAL CAVITY AS REQUIRED
- 10 1/2" DRYWALL (2 LAYERS WHEN REQUIRED)
- 11 LOW RISE FOAM
- 12 PRE-FINISHED METAL HEAD FLASHING C/W 1" END DAMS
- 13 PRE-FINISHED WINDOW BY OTHERS
- 14 TAPED AIR BARRIER
- 15 FINISHED WOOD TRIM

8 :: WINDOW DETAIL @ SILL 3D  
SCALE: N.T.S.

**FLOOR PLANS**  
• MAIN FLOOR PLAN  
• UPPER FLOOR PLAN  
• ENLARGED FLOOR PLAN DETAILS

PROJECT NAME  
**NAME OF CLIENT**  
PROJECT  
CLIENT NAME OF CLIENT  
Address Goes Here

THE PLAN AND RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE DESIGNER. REPRODUCTION OF THIS PLAN OTHER THAN BY THE CLIENT, INCLUDING ANY FORM OR BY MEANS OF ANY MEANS, FOR ANY REASON WITHOUT WRITTEN PERMISSION IS STRICTLY PROHIBITED.  
CLIENTS ARE ADVISED TO USE THIS PLAN TO CONSTRUCT ONLY AS SHOWN ON THE PLAN. NO OTHER WORK SHALL BE DONE WITHOUT WRITTEN PERMISSION OF THE DESIGNER.  
DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PURPOSES OR FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.  
THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.  
THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

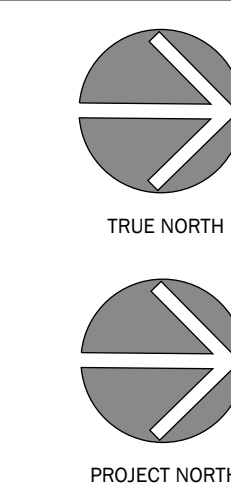
PROJECT NO. KOR21-01

DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION	D.P. PERMIT NO.	S.P. PERMIT NO.	ORIGINAL ISSUE DATE	ORIGINAL START DATE
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000	00000000	00000000	00000000	0000-00-00



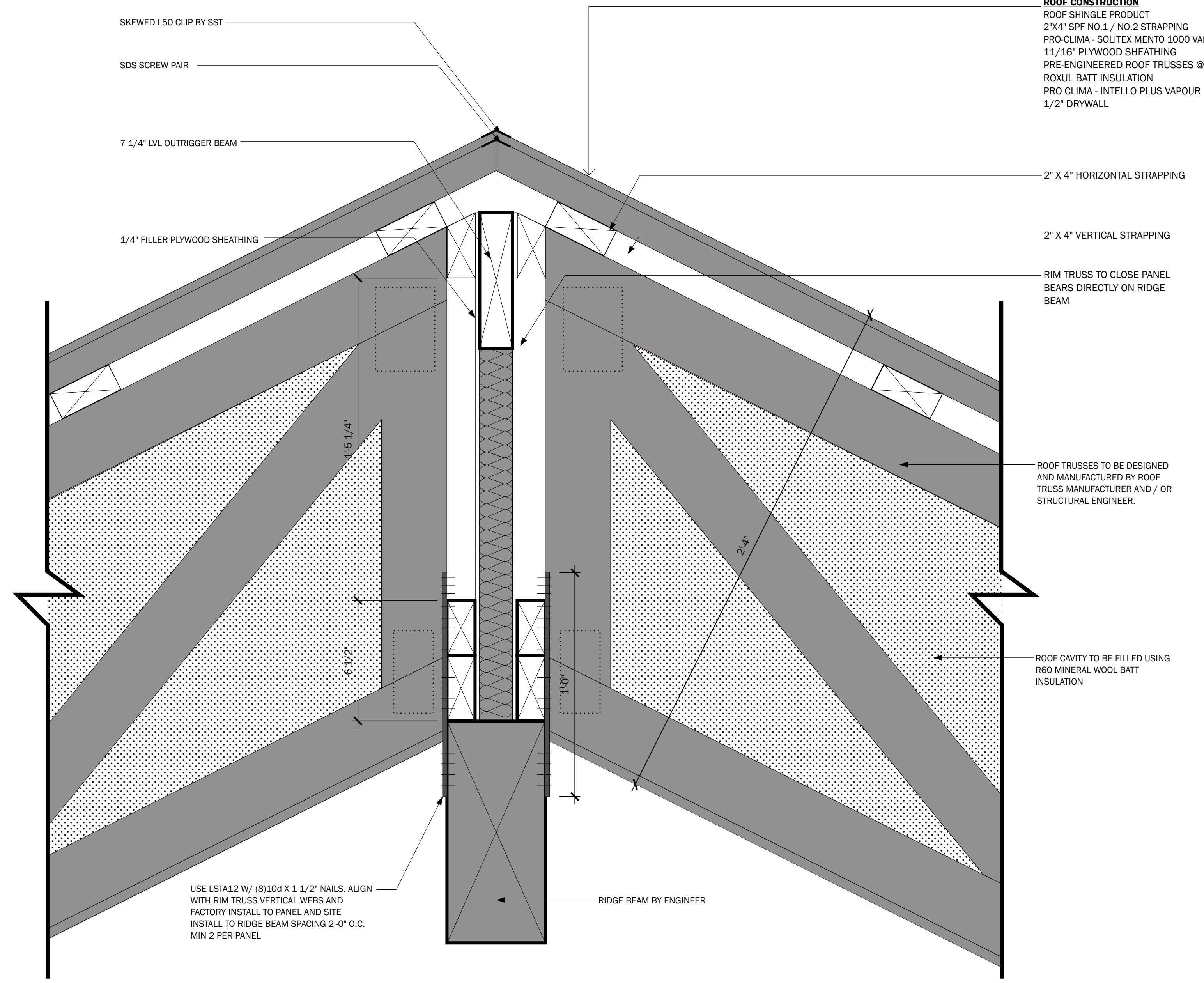
**ALBERTA • BRITISH COLUMBIA**  
PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM  
234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE  
SUSTAINABLE SYSTEMS

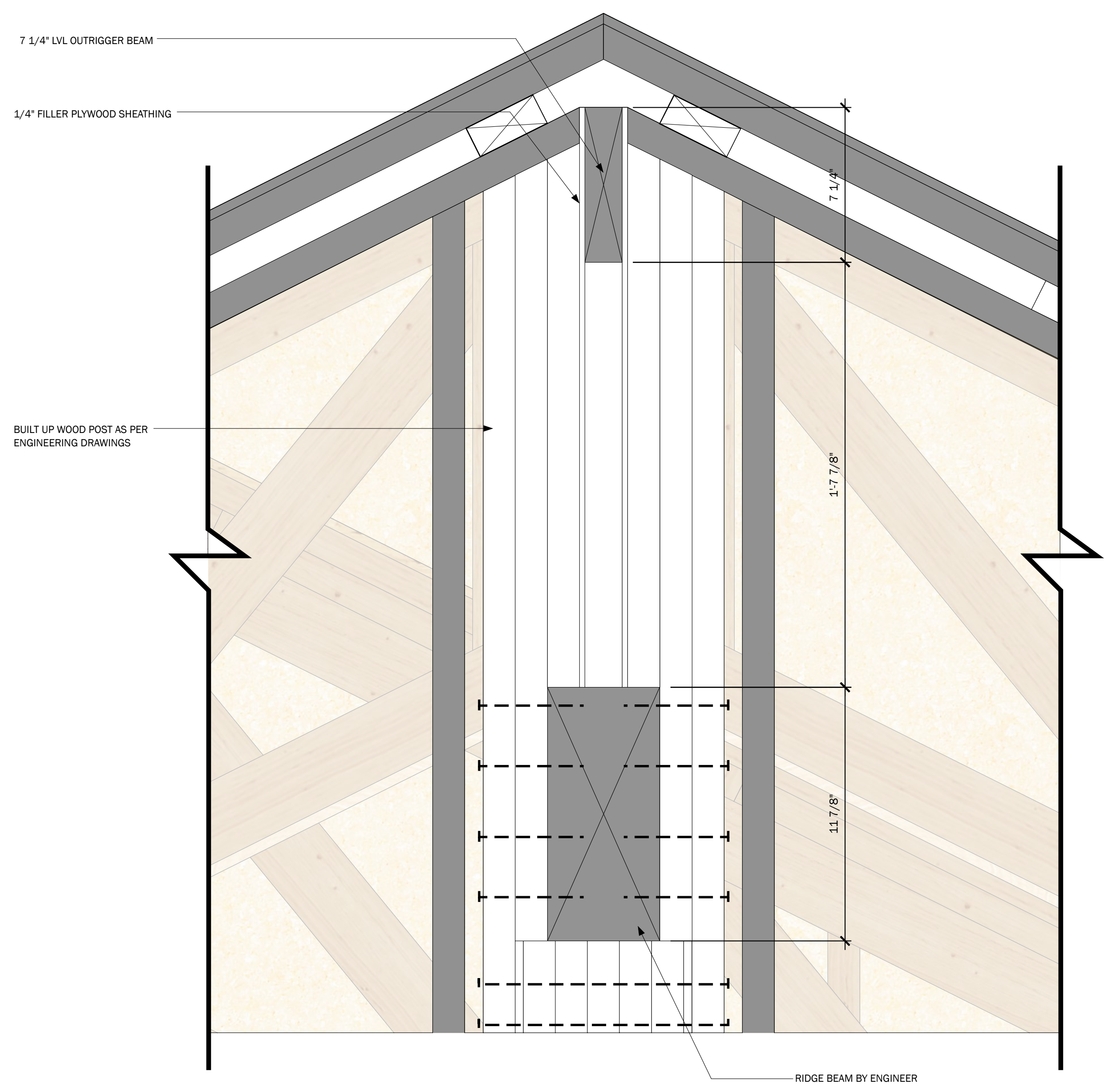


RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	

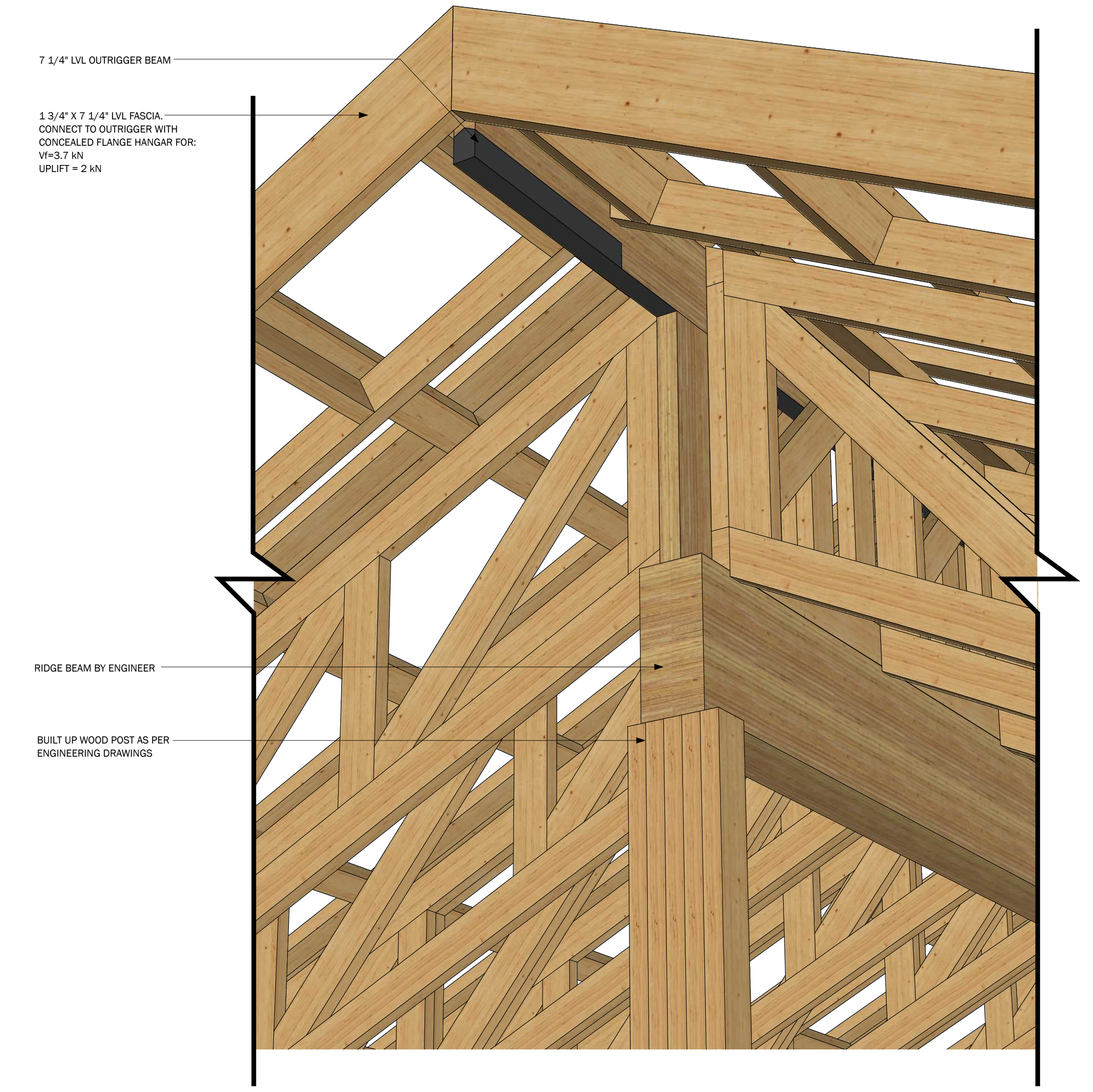
**A.08**



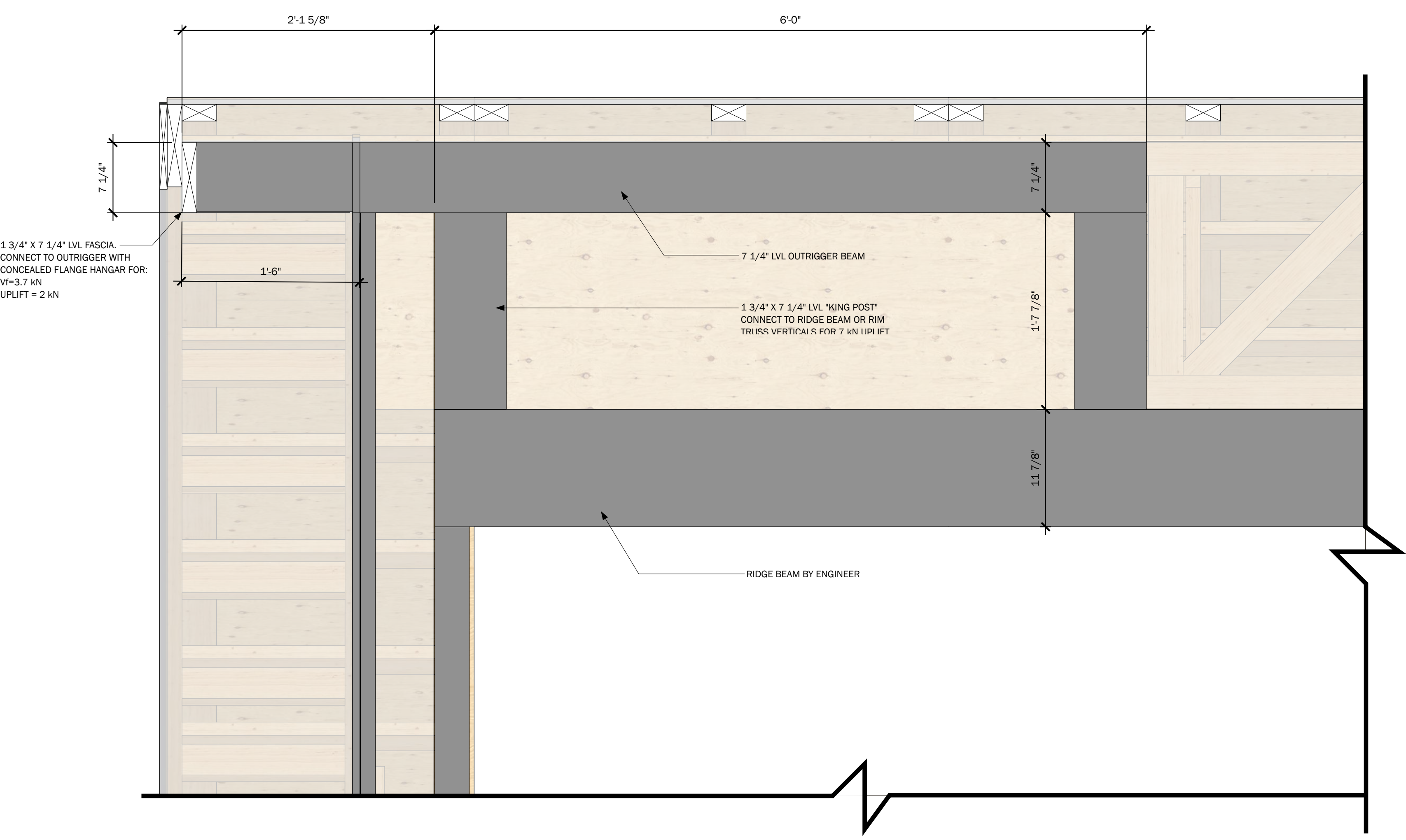
7 :: OUTRIGGER DETAIL  
 SCALE: 3" = 1'-0"



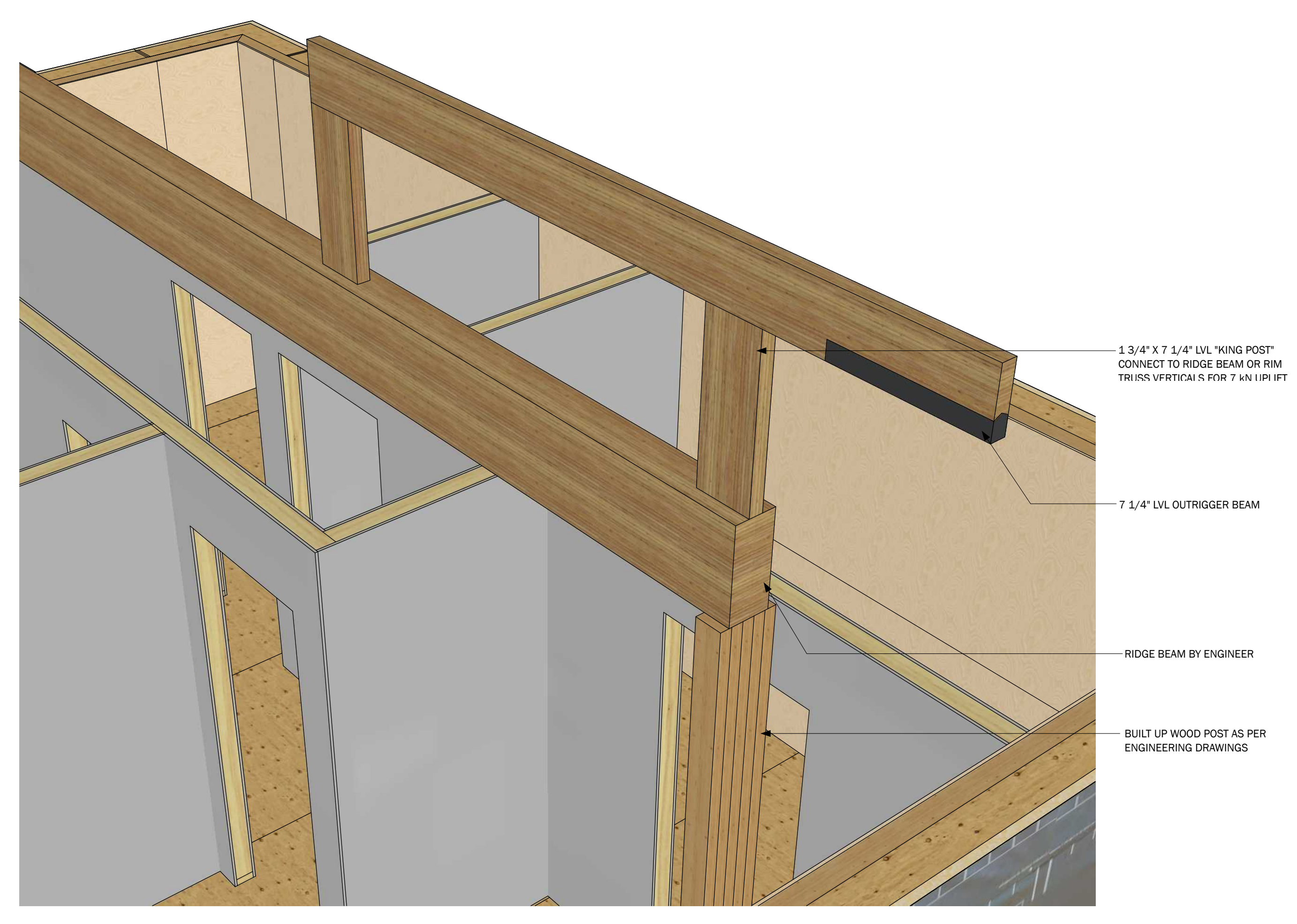
8 :: BUILT UP POST W/ RIDGE BEAM  
 SCALE: 3" = 1'-0"



9 :: BUILT UP POST W/ RIDGE BEAM PERSPECTIVE  
 SCALE: N.T.S.



10 :: OUTRIGGER SECTION / ELEVATION  
 SCALE: 1 1/2" = 1'-0"



10 :: OUTRIGGER ISOMETRIC  
 SCALE: N.T.S.

**FLOOR PLANS**

- MAIN FLOOR PLAN
- UPPER FLOOR PLAN
- ENLARGED FLOOR PLAN DETAILS

PROJECT NAME: **NAME OF CLIENT PROJECT**

CLIENT NAME OF CLIENT Address Goes Here

PROJECT NO. KOR21-01

DESIGNED BY: R.M. / D.P.A.	DRAWN BY: R.M. / D.P.A.	CHECKED BY: R.M. / D.P.A.	LEGAL DESCRIPTION: 00000000	D.P. PERMIT NO: 00000000	S.P. PERMIT NO: 00000000	ORIGINAL ISSUE DATE: 00000000	ORIGINAL START DATE: 0000-00-00
----------------------------	-------------------------	---------------------------	-----------------------------	--------------------------	--------------------------	-------------------------------	---------------------------------

**makOR** architecture

ALBERTA • BRITISH COLUMBIA

PHONE: 1-403-899-0223  
 MAKORARCHITECTURE.COM

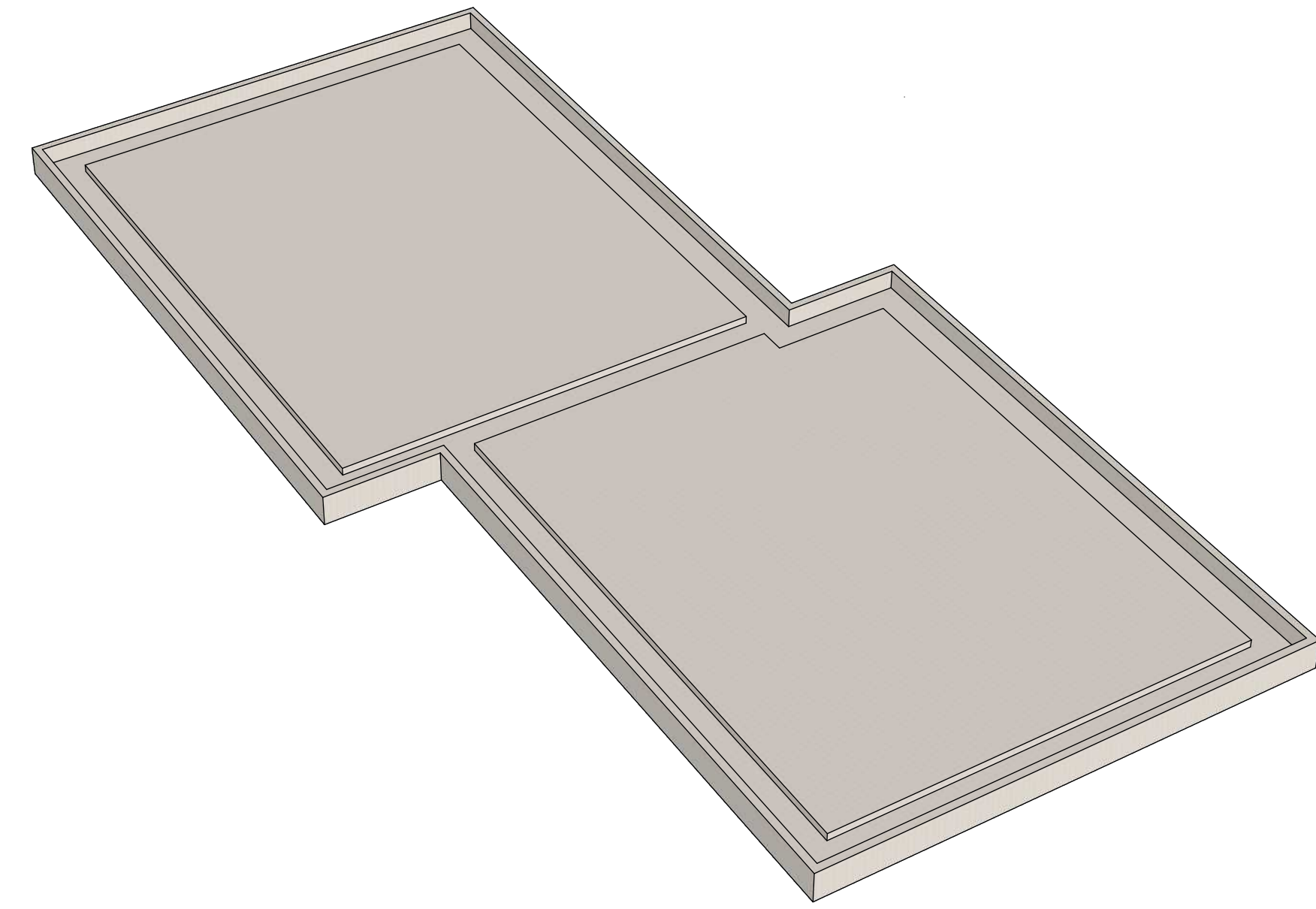
234-5149 COUNTRY HILLS BLVD., N.W.,  
 P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS

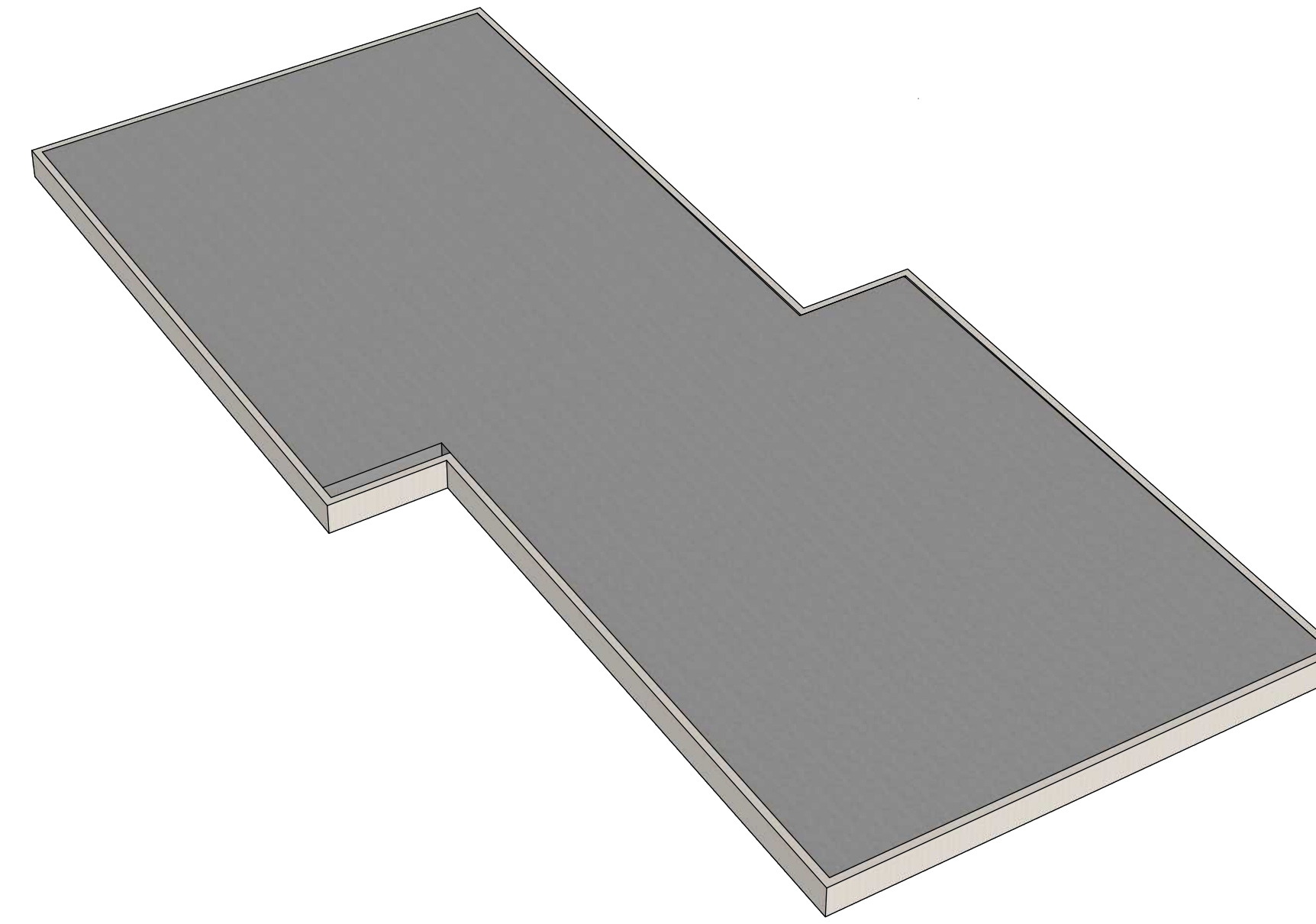
TRUE NORTH  
 PROJECT NORTH

RE-ISSUE DATE	ISSUED BY
0000-00-00	RM / DPA

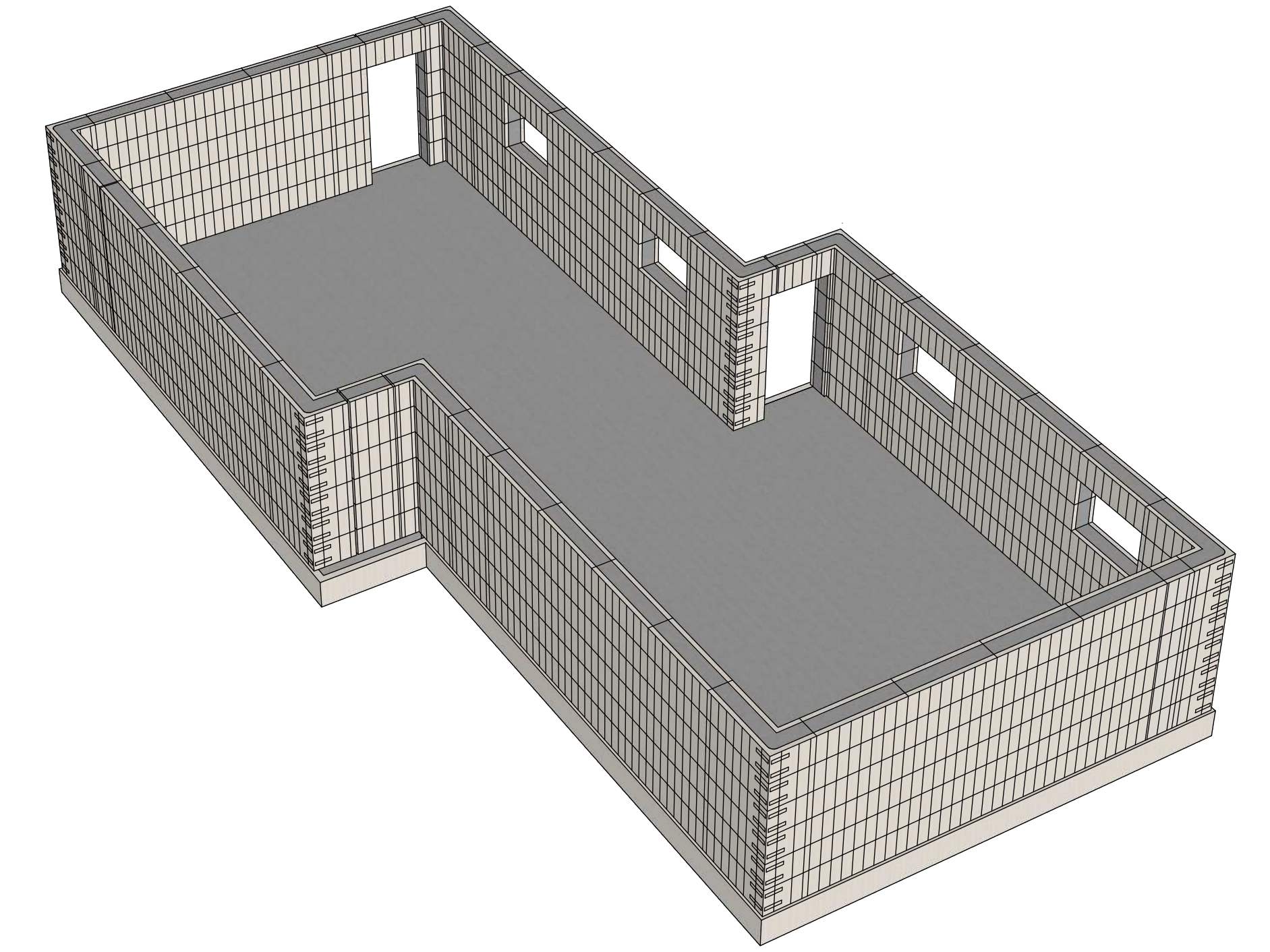
DRAWING NO: **A.09**



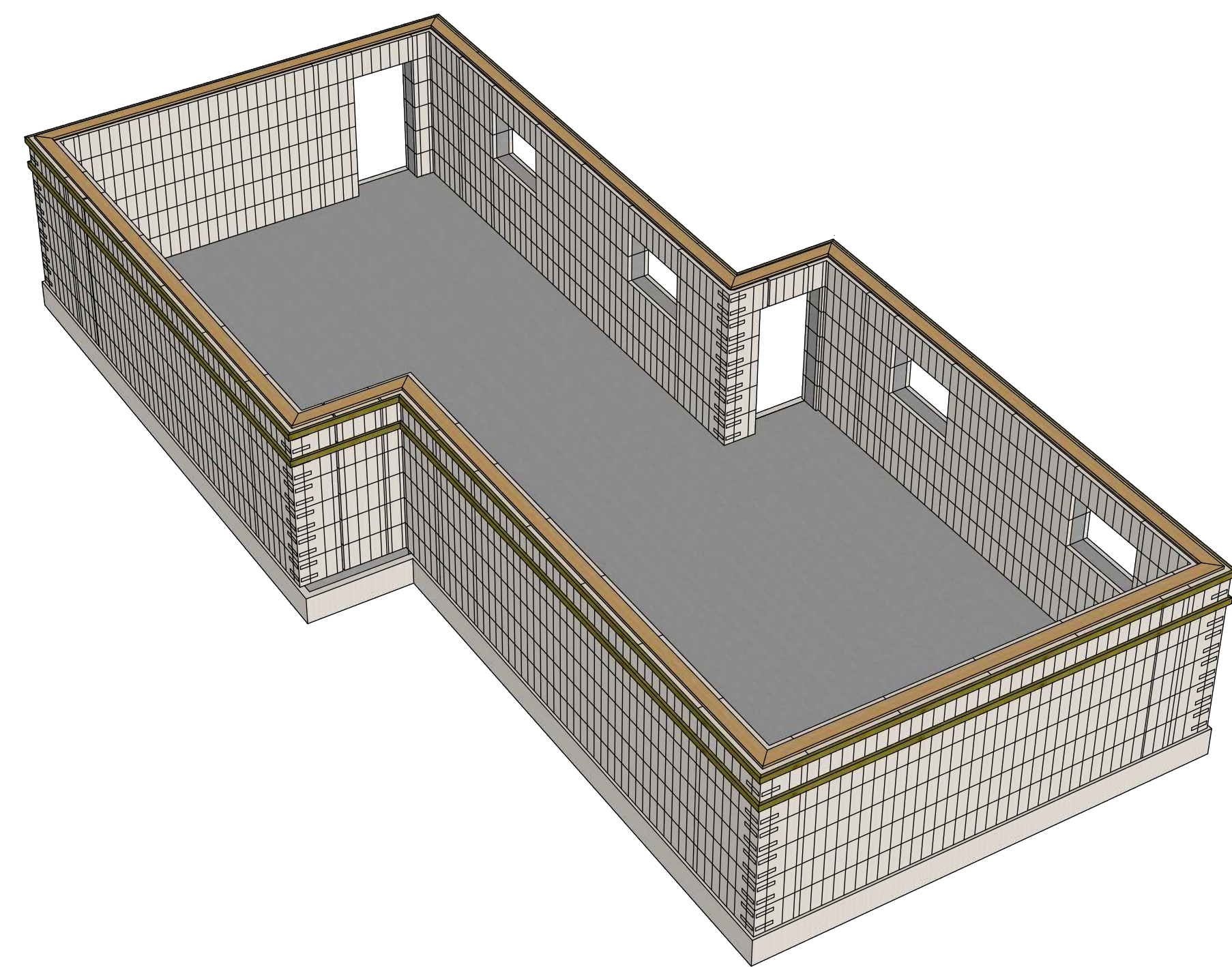
**1** :: FOOTING INSULATION  
A.10 SCALE: N.T.S.



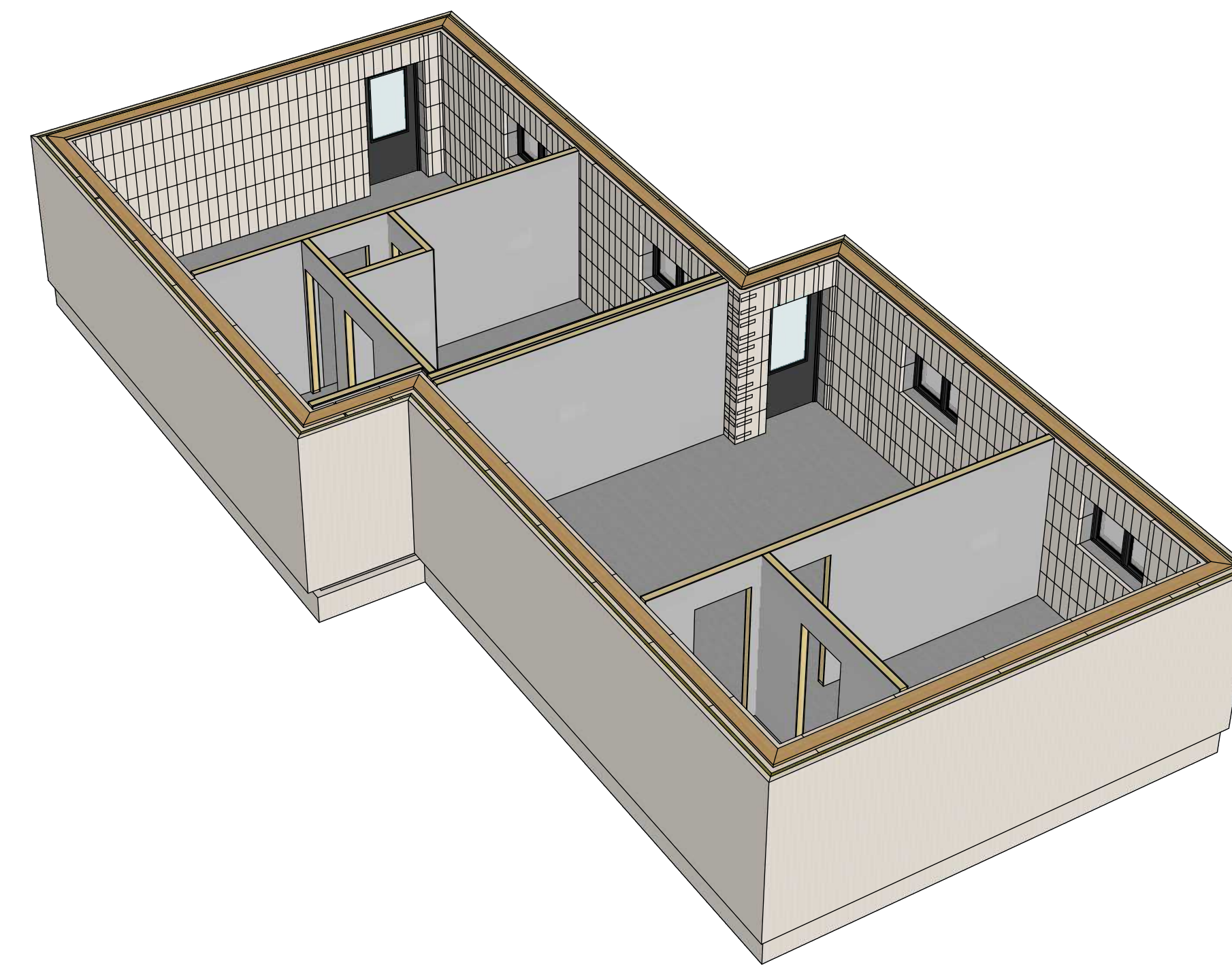
**2** :: CONCRETE FOOTINGS  
A.10 SCALE: N.T.S.



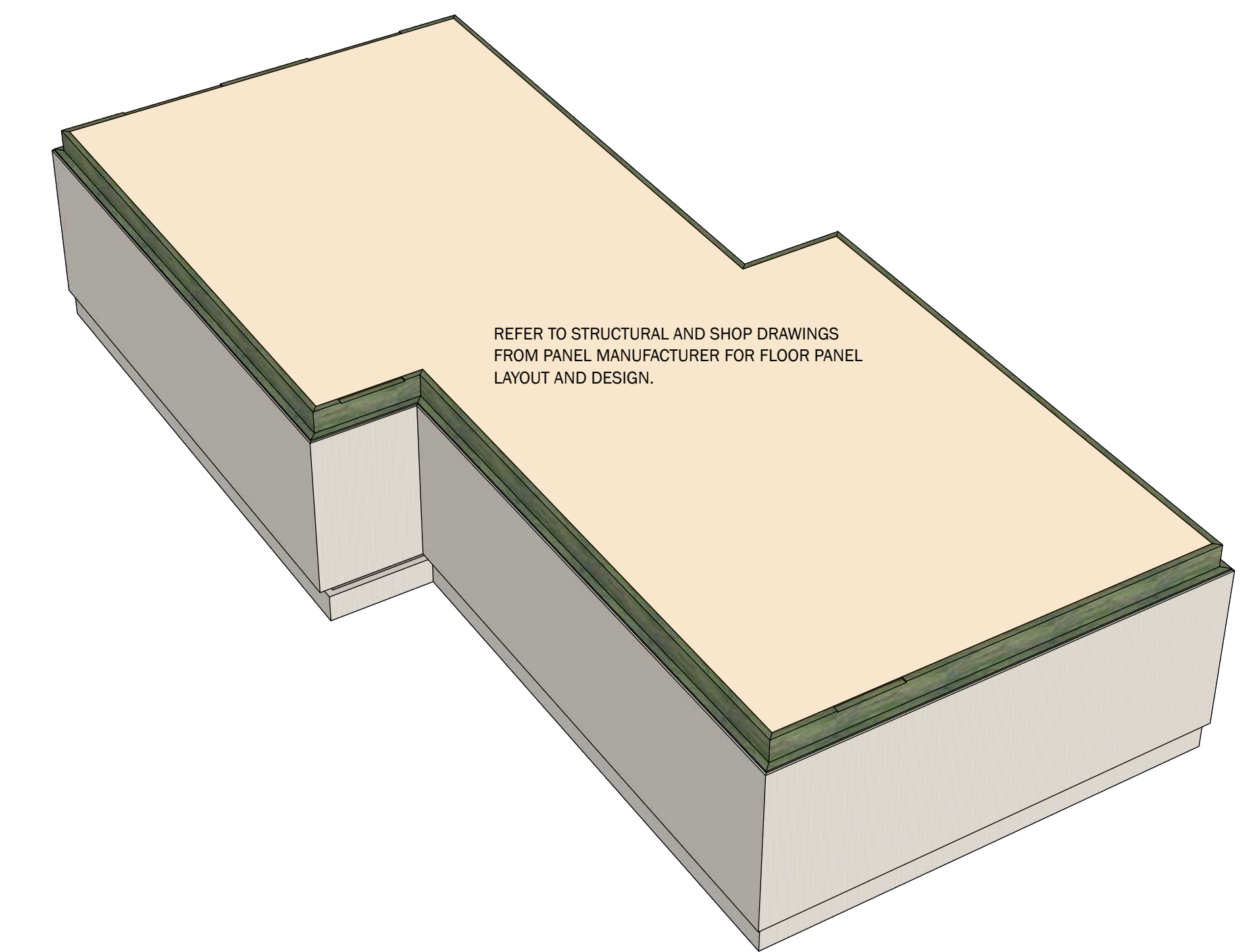
**3** :: ICF FOUNDATION WALLS  
A.10 SCALE: N.T.S.



**4** :: SILL PLATE LOCATIONS  
A.10 SCALE: N.T.S.



**5** :: 4" PERIMETER INSULATION  
A.10 SCALE: N.T.S.



**6** :: FIELD INSTALLED BATTS & WEDGE INSULATION  
A.10 SCALE: N.T.S.

**FLOOR PLANS**

- MAIN FLOOR PLAN
- UPPER FLOOR PLAN
- ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT PROJECT		CLIENT NAME OF CLIENT ADDRESS GOES HERE	
PROJECT NO. KOR21-01					
DESIGNED BY	DRAWN BY	CHECKED BY	LEGAL DESCRIPTION	D.P. PERMIT NO.	S.P. PERMIT NO.
R.M. / D.P.A.	R.M. / D.P.A.	R.M. / D.P.A.	00000000	00000000	00000000
			ORIGINAL ISSUE DATE:	ORIGINAL START DATE:	
			00000000	0000-00-00	

**maKOR architecture**

ALBERTA • BRITISH COLUMBIA

PHONE: 1-403-899-0223  
MAKORARCHITECTURE.COM

234-5149 COUNTRY HILLS BLVD., N.W.,  
P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

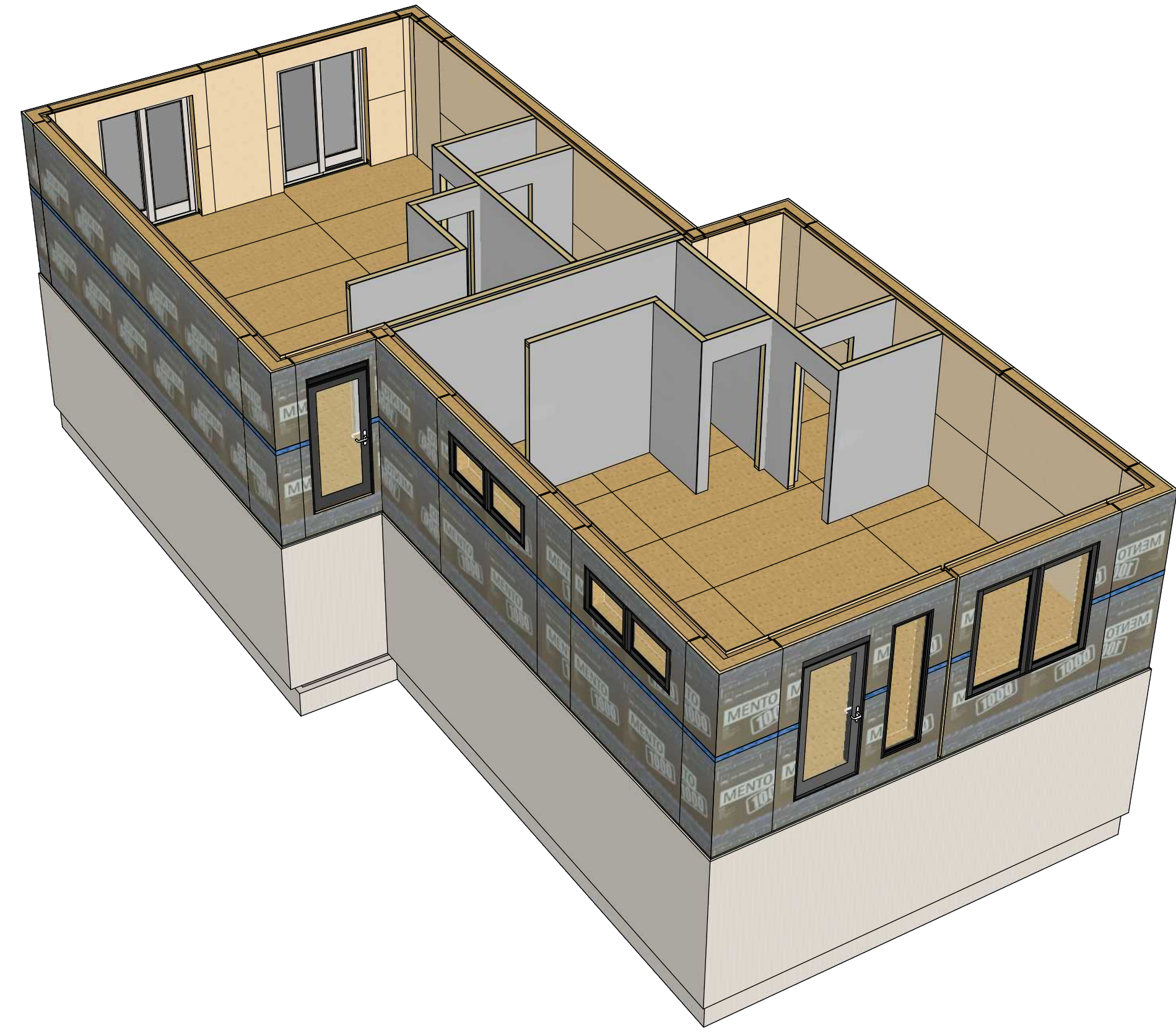
**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS

RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	A.10

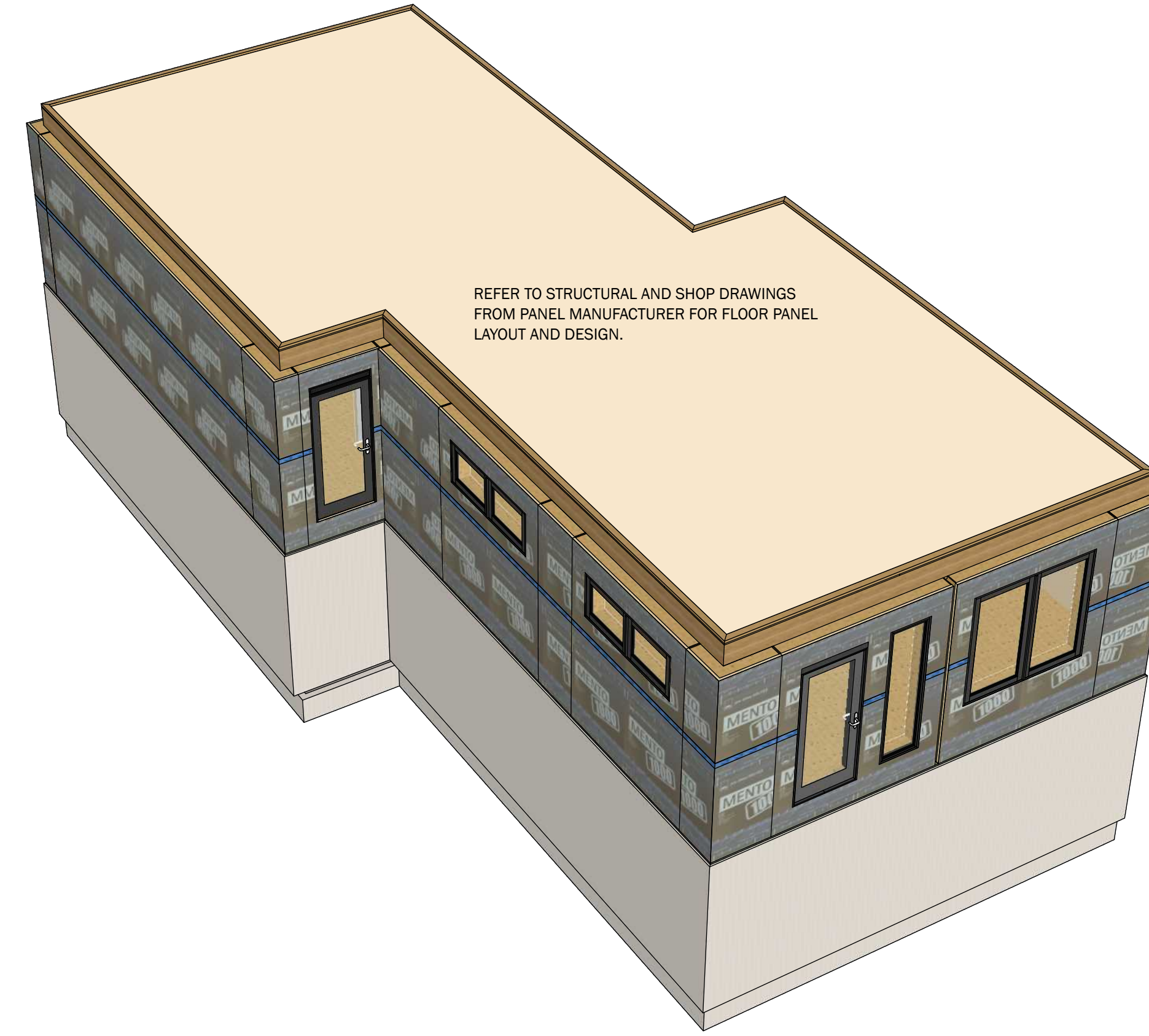
TRUE NORTH

PROJECT NORTH

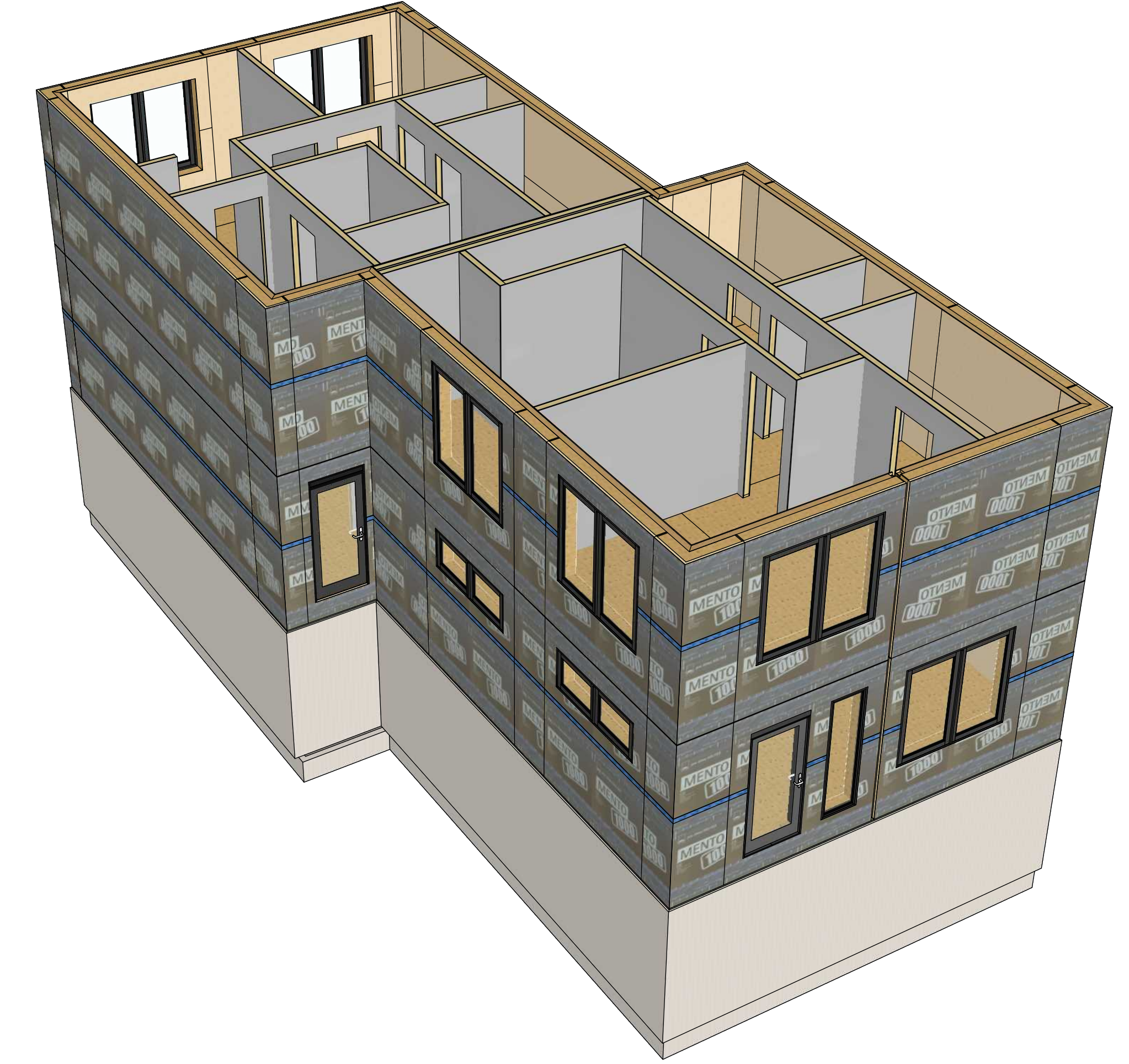
**A.10**



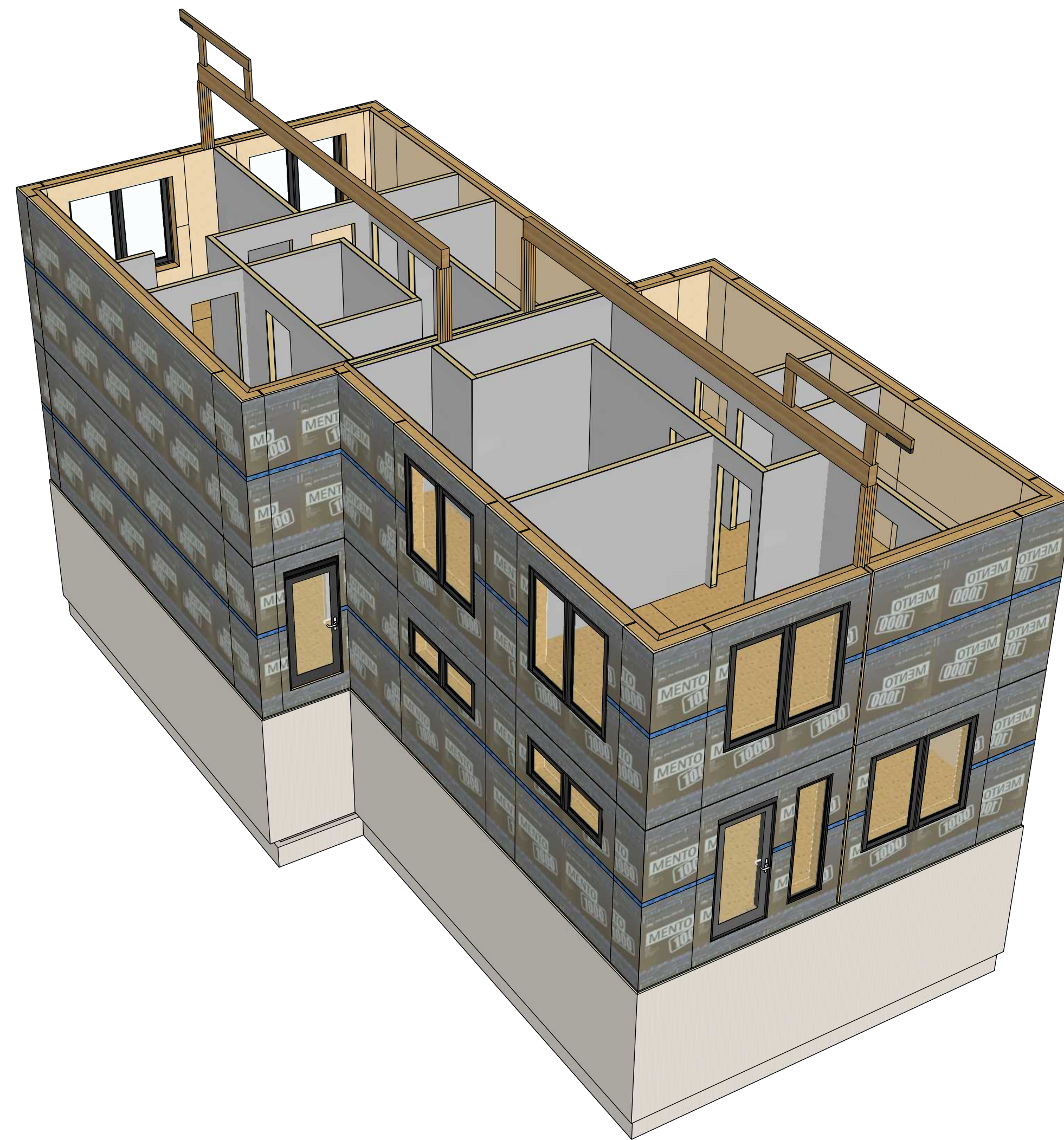
**7** :: MAIN FLOOR WALL FRAMING  
**A.11** SCALE: N.T.S.



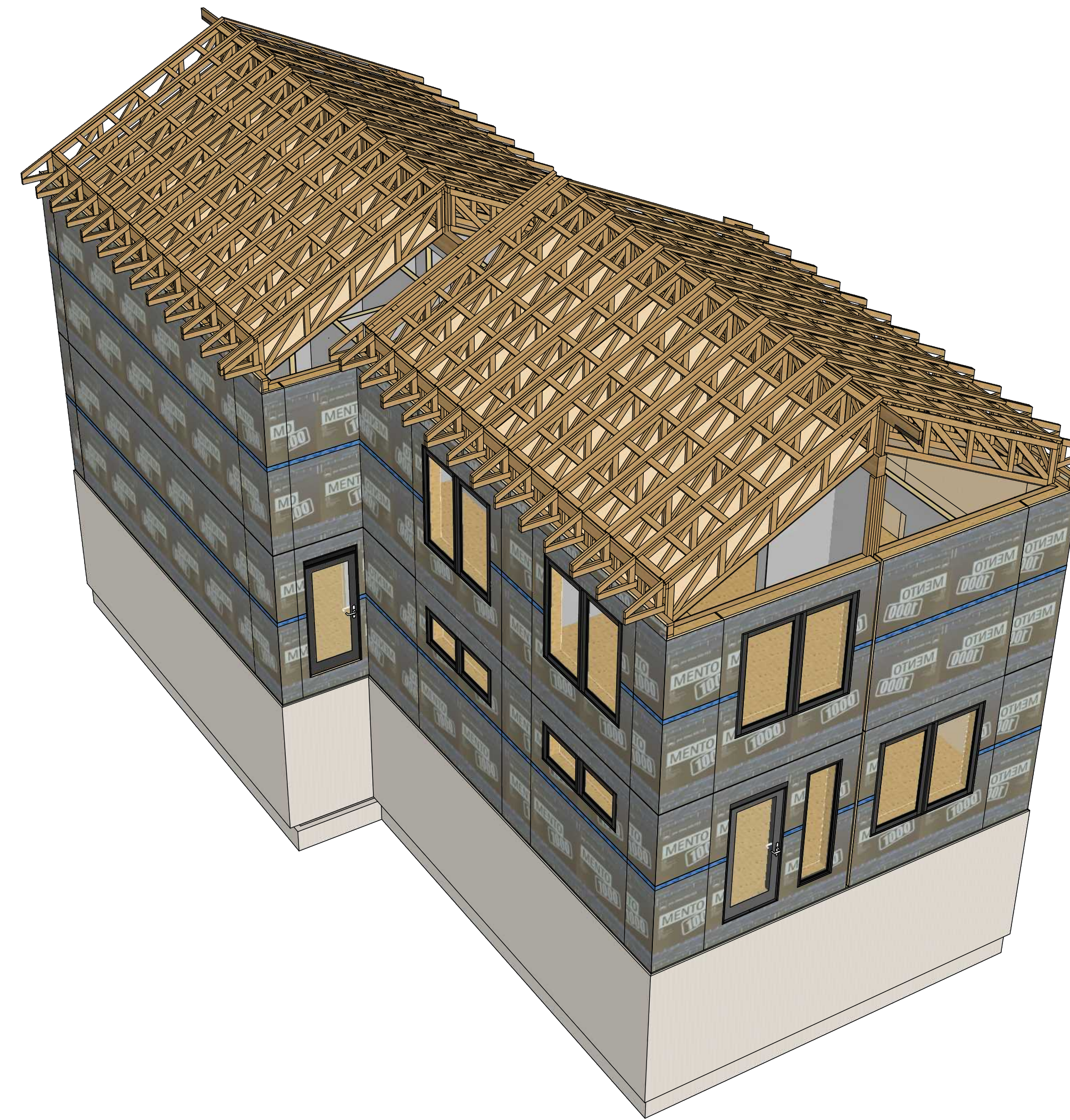
**8** :: UPPER FLOOR FRAMING  
**A.11** SCALE: N.T.S.



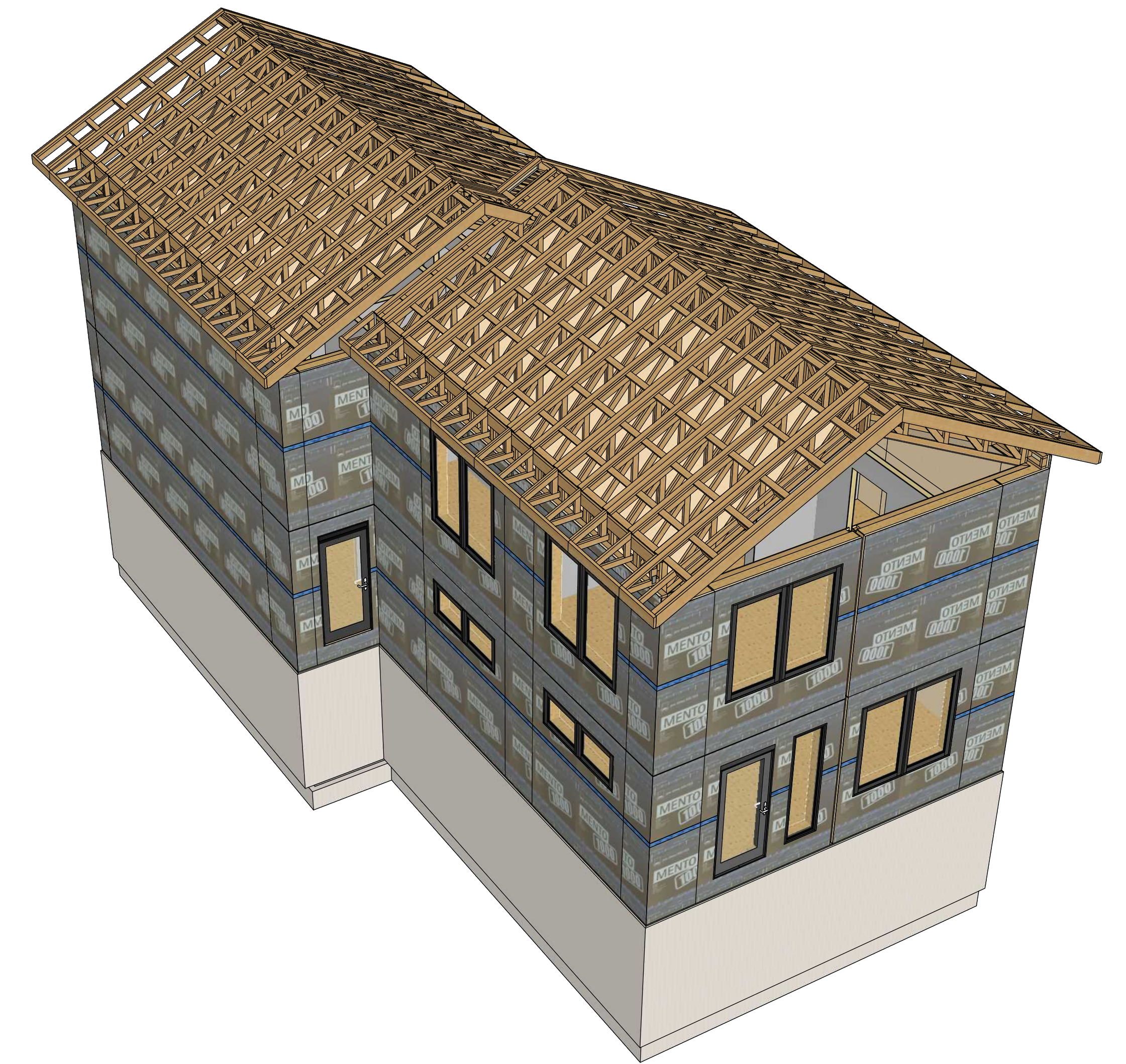
**9** :: UPPER LEVEL WALL FRAMING  
**A.11** SCALE: N.T.S.



**10** :: RIDGE BEAM LOCATIONS  
**A.11** SCALE: N.T.S.



**11** :: ROOF TRUSSES  
**A.11** SCALE: N.T.S.



**12** :: ROOF FRAMING & STRAPPING  
**A.11** SCALE: N.T.S.

**FLOOR PLANS**

- MAIN FLOOR PLAN
- UPPER FLOOR PLAN
- ENLARGED FLOOR PLAN DETAILS

PROJECT NAME		CLIENT NAME OF CLIENT PROJECT		CLIENT NAME OF CLIENT Address Goes Here		THE PLAN AND RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF THE DESIGNER. REPRODUCTION OF THIS PLAN OTHER IN WHOLE OR IN PART, INCLUDING ANY FORMS OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON WITHOUT PRIOR WRITTEN PERMISSION IS STRICTLY PROHIBITED.	
DESIGNED BY R.M. / D.P.A.		DRAWN BY R.M. / D.P.A.		CHECKED BY R.M. / D.P.A.		LEGAL DESCRIPTION: 00000000	
PROJECT NO. KOR21-01		D.P. PERMIT NO. 00000000		S.P. PERMIT NO. 00000000		ORIGINAL ISSUE DATE: 00000000	
ORIGINAL START DATE: 0000-00-00							

**maKOR** architecture

ALBERTA • BRITISH COLUMBIA

PHONE: 1-403-899-0223  
 MAKORARCHITECTURE.COM

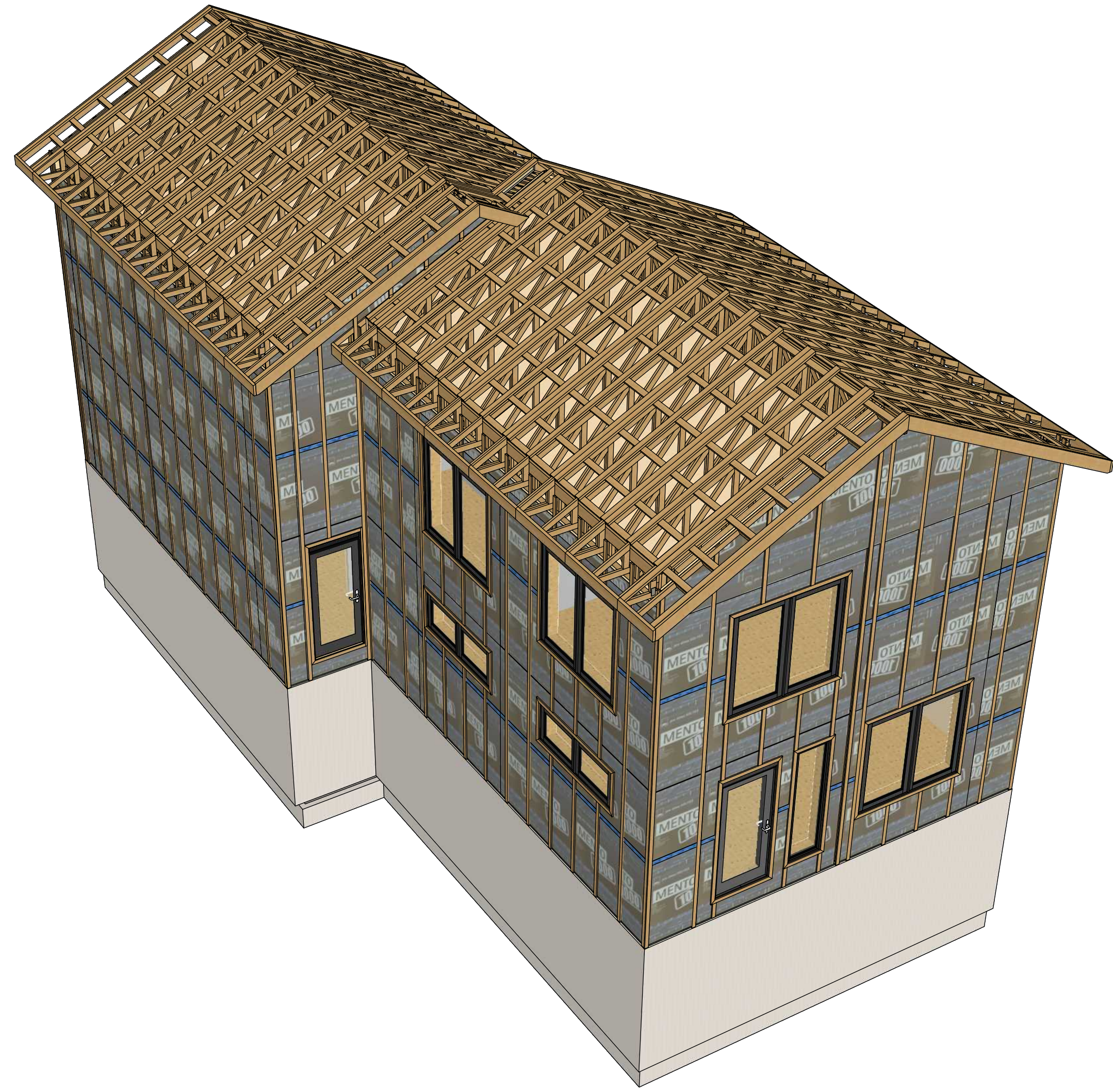
234-5149 COUNTRY HILLS BLVD., N.W.,  
 P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BOSS** | BUILDING OFFSITE SUSTAINABLE SYSTEMS

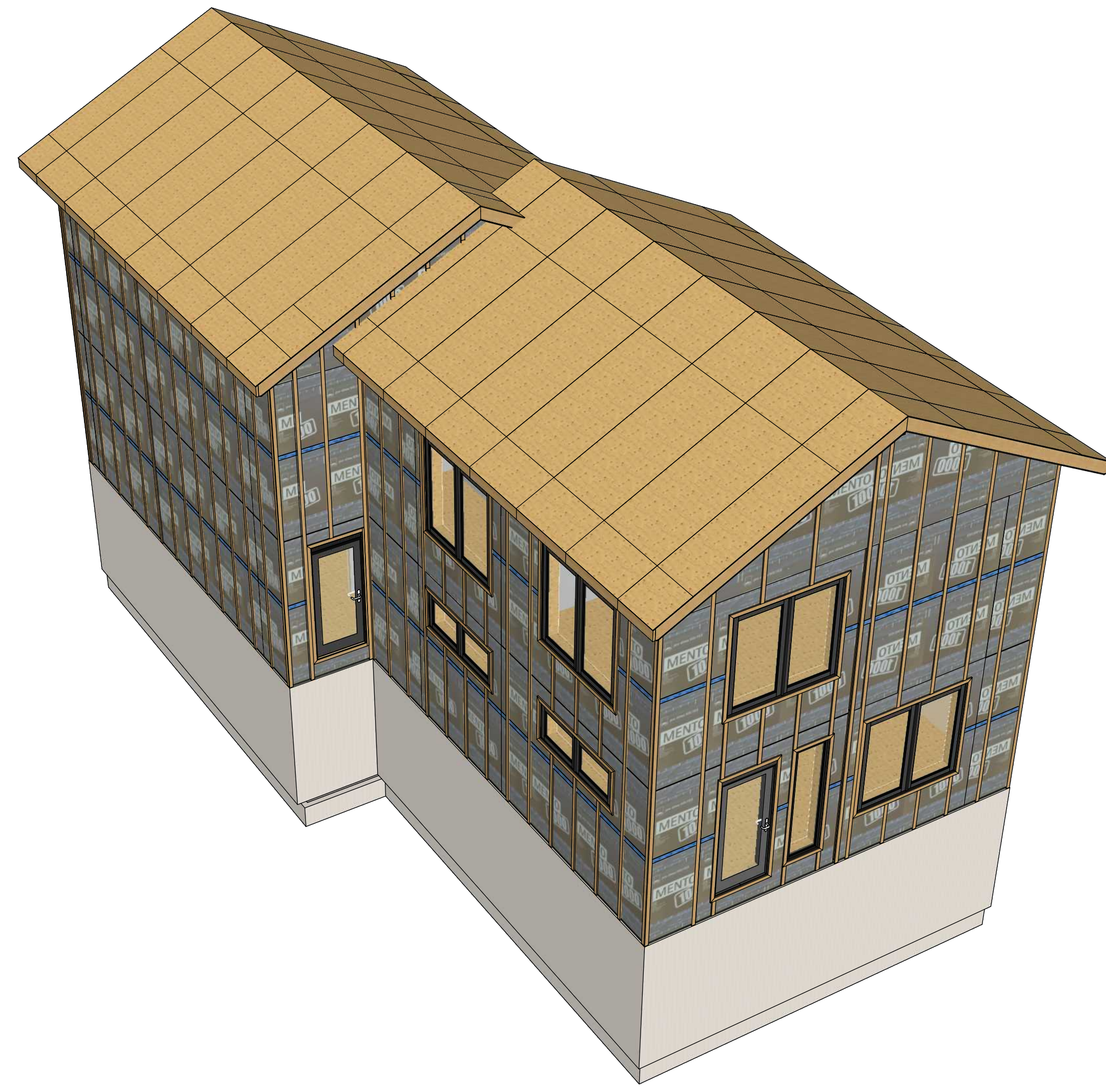
RE-ISSUE DATE	ISSUED BY	DRAWING NO.
0000-00-00	RM / DPA	<b>A.11</b>

TRUE NORTH

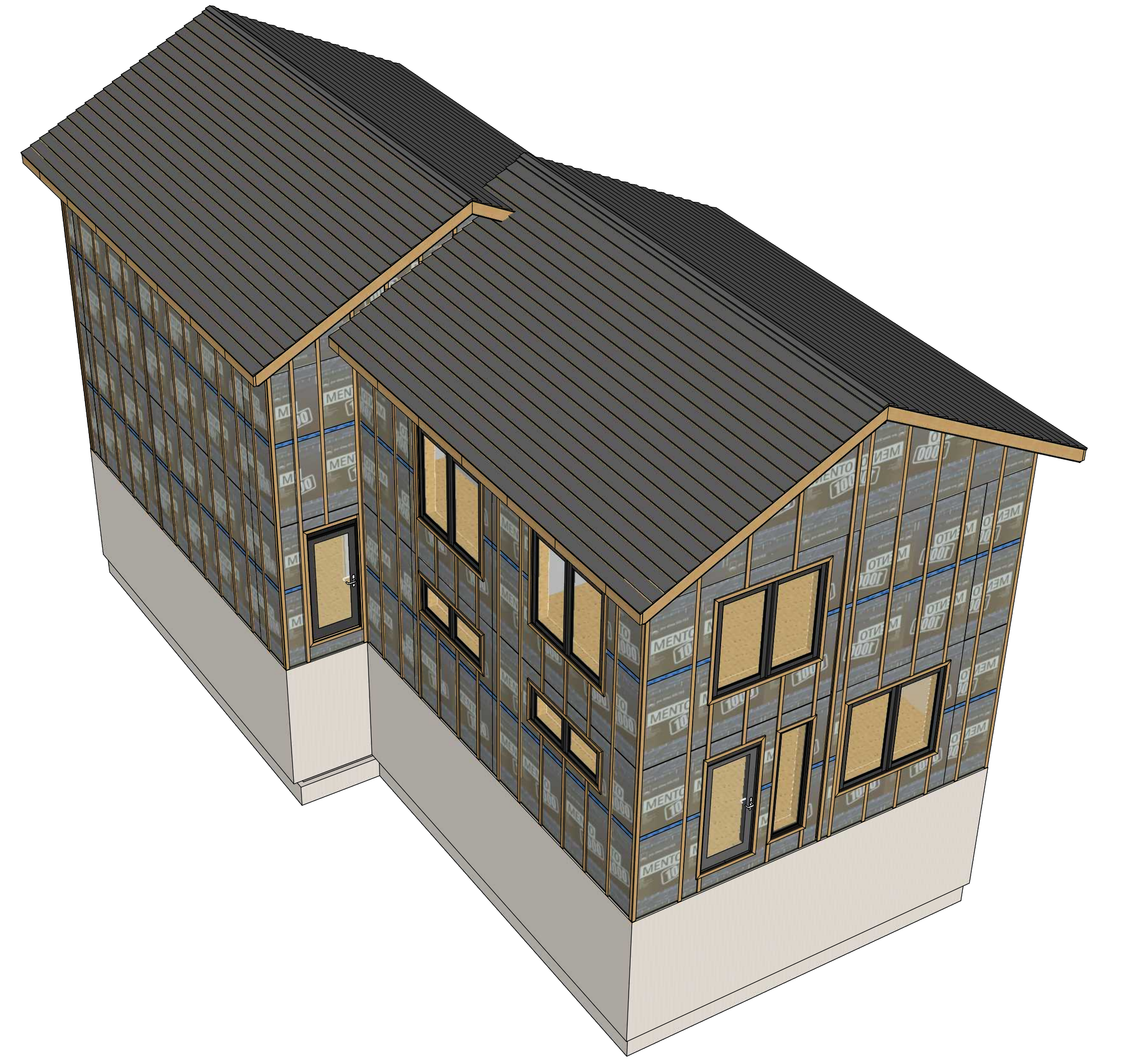
PROJECT NORTH



**13** :: RAIN SCREEN FRAMING  
**A.12** SCALE: N.T.S.



**14** :: ROOF SHEATHING  
**A.12** SCALE: N.T.S.



**15** :: EXTERIOR ROOF SHINGLES  
**A.12** SCALE: N.T.S.



**16** :: FINISHED SAMPLE PROJECT  
**A.12** SCALE: N.T.S.

INTENTIONALLY LEFT BLANK

INTENTIONALLY LEFT BLANK

**FLOOR PLANS**  
 • MAIN FLOOR PLAN  
 • UPPER FLOOR PLAN  
 • ENLARGED FLOOR PLAN DETAILS

PROJECT NAME <b>NAME OF CLIENT</b> PROJECT		CLIENT NAME OF CLIENT Address Goes Here	
PROJECT NO. KOR21-01			
DESIGNED BY R.M. / D.P.A.	DRAWN BY R.M. / D.P.A.	CHECKED BY R.M. / D.P.A.	LEGAL DESCRIPTION 00000000
D.P. PERMIT NO. 00000000	S.P. PERMIT NO. 00000000	ORIGINAL ISSUE DATE 00000000	ORIGINAL START DATE 0000-00-00

**ALBERTA • BRITISH COLUMBIA**

PHONE: 1-403-899-0223  
 MAKORARCHITECTURE.COM

234-5149 COUNTRY HILLS BLVD., N.W.,  
 P.O. BOX 124, CALGARY, ALBERTA, T3A 5K8

**BUILDING OFFSITE  
 SUSTAINABLE SYSTEMS**

RE-ISSUE DATE	ISSUED BY
0000-00-00	RM / DPA

DRAWING NO:  
A.12

